



City Council Workshop 5:00 p.m.  
Regular City Council Meeting 6:00 p.m.  
Tuesday, May 17, 2016  
Lakeland City Hall

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REGULAR CITY COUNCIL MEETING AGENDA  
WORKSHOP: QUALITY AVENUE

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ADOPT AGENDA
4. CONSENT AGENDA (Items may be pulled for discussion and/or separate action)
  - A. Approval of April 19, 2016 City Council Meeting Minutes
  - B. Gambling Permit and City Hall Rental for The Meek League's 2016 Raffle
  - C. Ragnar Relay Race August 13, 2016
  - D. Elections Update: Notice of Filing Periods
  - E. Monthly List of Claims
  - F. City Treasurer's Report
5. AGENCY REPORTS
  - A. Law Enforcement Report
  - B. Fire Department Report
  - C. Government Affairs Report
  - D. Animal Control Report
  - E. Building Permit Report
6. OPEN FORUM (Public comments, presentations and petitions)
  - A. St. Croix River Association – Natalie Warren
7. PUBLIC HEARINGS
  - A. Variance and Conditional Use Permit (CUP) for 1067 Quixote Avenue North
  - B. Vacating an Easement on the Property Located at 1067 Quixote
8. CITY BUSINESS
  - A. Resolution 2016-08 Variance and Conditional Use Permit (CUP) for 1067 Quixote Ave N.
  - B. County Road 18 – Cory Slagel, Washington County Assistant County Engineer
  - C. Resolution 2016-09 EAPC Architect Contract and Project Update
  - D. Resolution 2016-07 Vacating an Easement 1067 Quixote Avenue North
  - E. Ordinance 7554 Amending City Code Chapter 52 Water Regulations
  - F. Old City Hall Discussion
9. CITY STAFF REPORTS
10. CITY COUNCIL AND MAYOR REPORTS
11. ADJOURN

OFFICIAL RECORDED MINUTES OF LAKELAND CITY COUNCIL MEETING  
TUESDAY, APRIL 17, 2016

ARCHITECT SERVICES RFP INTERVIEWS: 4:13 p.m. to 6:55 p.m.

The City Council interviewed seven architect firms who responded to the RFP proposal regarding the new city hall project. The firms interviewed were as follows:

Shelter Architecture  
Collaborative Design Group, Inc.  
Oertel Architects, Ltd.  
Buetow 2 Architects, Inc.  
Luken Architecture  
CNH Architects  
EAPC

REGULAR CITY COUNCIL MEETING:

CITY COUNCIL PRESENT: Mayor Amy Williams, Council Member Jeri Ryan, Council Member Evan Loenser present via Skype.

STAFF PRESENT: City Attorney David Snyder, City Administrator/Clerk Sandie Thone, Public Works Director Matt Kline, City Treasurer Tom Niedzwiecki

1. CALL TO ORDER by Mayor Williams at 7:03 p.m.
2. PLEDGE OF ALLEGIANCE was recited.
3. ADOPT AGENDA:  
**Motion; Council Member Ryan/Second; Council Member Loenser/All Ayes; 3-0;  
Motion Carried.**
4. NEW BUSINESS
  - A. Approve Architect Firm Proposal

The city council interviewed seven architectural firms who responded to Lakeland's RFP for the expansion of the Lakeland water utility building. All firms met the requirement of the RFP and all were eligible to interview for the position as lead architects for the water building expansion.

After lengthy discussion, council chose EAPC as the lead architect for this project. They believed they were the best fit for council and staff.

**Motion to direct staff to work with EAPC to bring back an official contract between EAPC and the City of Lakeland to be ratified and signed at the May city council meeting**

**Motion; Mayor Williams/Second; Council Member Ryan/All ayes; 3-0; Motion Carried.**

**Time Stamp: 2:13**

5. ADOPT CONSENT AGENDA

**Motion; Council Member Ryan/Second; Council Member Loenser/All ayes; 3-0;**

**Motion Carried**

- A. Approve March 15, 2016 City Council Meeting Minutes
- B. Approve April 12, 2016 Local Board of Appeals and Equalization Minutes
- C. Ordinance 7552 SSTS Repealing and Replacing Lakeland City Code Ch. 160
- D. CSAH 18 Medians
- E. Seasonal Public Works Hire
- F. Open Meeting Law Memo
- G. Agreement for Assessment Services with Washington County
- H. Monthly List of Claims
- I. City Treasurer's Report

6. AGENCY REPORTS

- A. Law Enforcement Report/Refer to Laura Jackson's written report. Mayor Williams expressed concern with speed issues on city streets and referred to Public Works Director Kline who spoke with Deputy Sullivan who has requested more patrols out on the roads to bring attention to resident's speed. Mayor Williams also discussed the fraudulent phone scams and urged residents to always be aware and skeptical of people asking for money over the phone.
- B. Fire Department Report/Refer to written report.
- C. Government Affairs Report/Refer to Mark Nagel's written report. Mark Nagel spoke with the pioneer press regarding the Hamline grad students and their work on Lakeland's comp plan.
- D. Animal Control Report/Refer to written report.

- E. MSCWMO Report/Mayor Williams spoke with Natalie Warren with St. Croix River Association who recently received a grant to help educate residents in the St. Croix area.
- F. Building Department Report/Refer to written report.

7. OPEN FORUM (Public comments, presentations and petitions)

8. CITY BUSINESS

**Resolution 2016-06: Setting a Public Hearing for Easement Vacation on 1067 Quixote:**

A recent application showed a discrepancy where the current easement runs and where it should run.

**Motion to adopt current resolution 2016-06 which sets a public hearing for an easement vacation on 1067 Quixote; Motion; Council Member Ryan/Second; Council Member Loenser/All ayes 3-0; Motion Carried**

**Time Stamp: 51:51**

9. CITY COUNCIL AND MAYOR REPORTS

**Council Member Evan Loenser**

Council Member Loenser contacted Habitat for Humanity and HRA for Washington County regarding uses for the old city hall. In addition, possibly working with the fire department as a test site. Mayor Williams directed staff to have options for the new city hall at the next city council meeting. In addition, would like to invite Habitat for Humanity to come and look at the feasibility for what the city is proposing at the old city hall.

**Council Member Jeri Ryan**

No report.

**Mayor Amy Williams**

Thanked Lakeland resident Zulay Furlong for helping city council and staff during the RFP process for architect services.

10. CITY STAFF REPORTS

**City Attorney Dave Snyder**

No report.

**City Clerk/Administrator Sandie Thone**

Referred to written report.

**Public Works Director Matt Kline**

Will begin hydrant flushing, May workshop will include Quality Avenue improvement discussion, Garbage cans went out around the city to prevent trash in the parks and on the street.

**City Treasurer/Tom Niedzwiecki**

The city has experienced fraudulent activity which included checks written for a total of \$7,806.67; Will close the current account and open a new one. A fraud affidavit has been filed and is in process of being sent to the fraud division.

**Motion to Adjourn City Council Meeting effective 8:07 p.m.**

**Motion; Council Member Loenser/Second; Council Member Ryan/All Ayes; 3-0 Motion Carried.**

Respectfully submitted by Deputy Clerk, Halli Sevilla

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Amy Williams, Mayor

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Sandie Thone, City Administrator/Clerk

4B

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Date: May 17, 2016  
To: Mayor and City Council  
From: Sandie Thone, City Administrator/Clerk  
Re: Gambling Permit and City Hall Rental – The Meek League

***BACKGROUND***

The State of Minnesota Lawful Gambling Division requires an exempt permit to be issued to a non-profit organization that conducts lawful gambling on five or fewer days and awards less than \$50,000 in prizes during a calendar year. The exempt permit must first be approved by the city if the gambling premises is located within the city limits.

The City of Lakeland allows rental of City Hall facilities for a fee of \$100 as approved by the City Council.

***DISCUSSION***

We have received a request from The Meek League, a local non-profit organization to hold their event on September 23, 2016 at City Hall located at 690 Quinnell Avenue North (see request attached).

***RECOMMENDATION***

Staff respectfully recommends the City Council approve the Gambling Permit for The Meek League's September 23, 2016 event and the rental of City Hall for a fee of \$100 (fee may be waived at council's discretion). Motion, second and simple majority vote needed.

Wednesday, May 11<sup>th</sup>, 2016

To: The City Council of Lakeland, MN

Re: City approval for raffle event

From: The Meek League - Est. December 25<sup>th</sup>, 2013

The Meek League is a Christian outreach and service ministry. Serving the poor and downtrodden, primarily in Minnesota. As truth tellers we are uniting Christians to help and protect our children and families while serving others as Jesus served all of us. We support and share Biblical, civics, and environmental stewardship information and materials. Equipping others to unite in the Word and in Liberty, so as to create a well informed citizenry. In general, we seek to bring solace and joy to others.

We are seeking approval to hold the 2016 drawing of our raffle in Lakeland, MN. The purpose of our raffle is to raise and manage funds to purchase property and other assets in support of developing and providing our mission's services. The drawing will take place on Friday, September 23<sup>rd</sup>, 2016.

MINNESOTA LAWFUL GAMBLING  
**LG220 Application for Exempt Permit**

An exempt permit may be issued to a nonprofit organization that:

- conducts lawful gambling on five or fewer days, and
- awards less than \$50,000 in prizes during a calendar year.

If total raffle prize value for the calendar year will be \$1,500 or less, contact the Licensing Specialist assigned to your county by calling 651-539-1900.

**Application Fee (non-refundable)**

Applications are processed in the order received. If the application is postmarked or received 30 days or more before the event, the application fee is **\$100**; otherwise the fee is **\$150**.  
 Due to the high volume of exempt applications, payment of additional fees prior to 30 days before your event will not expedite service, nor are telephone requests for expedited service accepted.

**ORGANIZATION INFORMATION**

Organization Name: The Meek League Previous Gambling Permit Number: \_\_\_\_\_

Minnesota Tax ID Number, if any: \_\_\_\_\_ Federal Employer ID Number (FEIN), if any: 46-4569864

Mailing Address: P.O. Box 217

City: Afton State: MN Zip: 55001 County: Washington

Name of Chief Executive Officer (CEO): Carol Nelson Co-Founder

Daytime Phone: 651-395-8058 Email: carol@themeeleague.org

**NONPROFIT STATUS**

Type of Nonprofit Organization (check one):

Fraternal  Religious  Veterans  Other Nonprofit Organization

**Attach a copy of one of the following showing proof of nonprofit status:**

(DO NOT attach a sales tax exempt status or federal employer ID number, as they are not proof of nonprofit status.)

**A current calendar year Certificate of Good Standing**  
 Don't have a copy? Obtain this certificate from:  
 MN Secretary of State, Business Services Division Secretary of State website, phone numbers:  
 60 Empire Drive, Suite 100 [www.sos.state.mn.us](http://www.sos.state.mn.us)  
 St. Paul, MN 55103 651-296-2803, or toll free 1-877-551-6767

**IRS income tax exemption (501(c)) letter in your organization's name**  
 Don't have a copy? To obtain a copy of your federal income tax exempt letter, have an organization officer contact the IRS toll free at 1-877-829-5500.

**IRS - Affiliate of national, statewide, or international parent nonprofit organization (charter)**  
 If your organization falls under a parent organization, attach copies of **both** of the following:  
 1. IRS letter showing your parent organization is a nonprofit 501(c) organization with a group ruling, and  
 2. the charter or letter from your parent organization recognizing your organization as a subordinate.

**GAMBLING PREMISES INFORMATION**

Name of premises where the gambling event will be conducted (for raffles, list the site where the drawing will take place): Lakeland City Hall

Address (do not use P.O. box): 690 Quinell Ave. N.

City or Township: Lakeland Zip: 55043 County: Washington

Date(s) of activity (for raffles, indicate the date of the drawing): September 23, 2016

Check each type of gambling activity that your organization will conduct:

Bingo\*  Paddlewheels\*  Pull-Tabs\*  Tipboards\*

Raffle (total value of raffle prizes awarded for the calendar year: \$50,000.00)

\* **Gambling equipment** for bingo paper, paddlewheels, pull-tabs, and tipboards must be obtained from a distributor licensed by the Minnesota Gambling Control Board. EXCEPTION: Bingo hard cards and bingo number selection devices may be borrowed from another organization authorized to conduct bingo. To find a licensed distributor, go to [www.mn.gov/gcb](http://www.mn.gov/gcb) and click on **Distributors** under **List of Licensees**, or call 651-539-1900.

# LG220 Application for Exempt Permit

## LOCAL UNIT OF GOVERNMENT ACKNOWLEDGMENT (required before submitting application to the Minnesota Gambling Control Board)

### CITY APPROVAL for a gambling premises located within city limits

- The application is acknowledged with no waiting period.
- The application is acknowledged with a 30-day waiting period, and allows the Board to issue a permit after 30 days (60 days for a 1st class city).
- The application is denied.

Print City Name: \_\_\_\_\_

Signature of City Personnel: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**The city or county must sign before submitting application to the Gambling Control Board.**

### COUNTY APPROVAL for a gambling premises located in a township

- The application is acknowledged with no waiting period.
- The application is acknowledged with a 30-day waiting period, and allows the Board to issue a permit after 30 days.
- The application is denied.

Print County Name: \_\_\_\_\_

Signature of County Personnel: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

**TOWNSHIP (if required by the county)**  
On behalf of the township, I acknowledge that the organization is applying for exempted gambling activity within the township limits. (A township has no statutory authority to approve or deny an application, per Minn. Statutes, section 349.213.)

Print Township Name: \_\_\_\_\_

Signature of Township Officer: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

## CHIEF EXECUTIVE OFFICER'S SIGNATURE (required)

The information provided in this application is complete and accurate to the best of my knowledge. I acknowledge that the financial report will be completed and returned to the Board within 30 days of the event date.

Chief Executive Officer's Signature: Carol Nelson Date: 05/11/2016  
(Signature must be CEO's signature; designee may not sign)

Print Name: Carol Nelson Co-Founder

## REQUIREMENTS

- Complete a separate application for:**
- all gambling conducted on two or more consecutive days, or
  - all gambling conducted on one day.

Only one application is required if one or more raffle drawings are conducted on the same day.

**Financial report to be completed within 30 days after the gambling activity is done:**

A financial report form will be mailed with your permit. Complete and return the financial report form to the Gambling Control Board.

Your organization must keep all exempt records and reports for 3-1/2 years (Minn. Statutes, section 349.166, subd. 2(f)).

## MAIL APPLICATION AND ATTACHMENTS

**Mail application with:**  
\_\_\_\_\_ a copy of your proof of nonprofit status, and  
\_\_\_\_\_ application fee (non-refundable). If the application is postmarked or received 30 days or more before the event, the application fee is **\$100**; otherwise the fee is **\$150**. Make check payable to **State of Minnesota**.

**To:** Minnesota Gambling Control Board  
1711 West County Road B, Suite 300 South  
Roseville, MN 55113

**Questions?**  
Call the Licensing Section of the Gambling Control Board at 651-539-1900.

Data privacy notice: The information requested on this form (and any attachments) will be used by the Gambling Control Board (Board) to determine your organization's qualifications to be involved in lawful gambling activities in Minnesota. Your organization has the right to refuse to supply the information; however, if your organization refuses to supply this information, the Board may not be able to determine your organization's qualifications and, as a consequence, may refuse to issue a permit. If your organization supplies the information requested, the Board will be able to process the

application. Your organization's name and address will be public information when received by the Board. All other information provided will be private data about your organization until the Board issues the permit. When the Board issues the permit, all information provided will become public. If the Board does not issue a permit, all information provided remains private, with the exception of your organization's name and address which will remain public. Private data about your organization are available to Board members, Board staff whose work requires access to the information; Minnesota's Depart-

ment of Public Safety; Attorney General; Commissioners of Administration, Minnesota Management & Budget, and Revenue; Legislative Auditor, national and international gambling regulatory agencies; anyone pursuant to court order; other individuals and agencies specifically authorized by state or federal law to have access to the information; individuals and agencies for which law or legal order authorizes a new use or sharing of information after this notice was given; and anyone with your written consent.

This form will be made available in alternative format (i.e. large print, braille) upon request.

## Business Record Details »

Minnesota Business Name

**The Meek League**

**Business Type**

Nonprofit Corporation (Domestic)

**MN Statute**

317A

**File Number**

721564500022

**Home Jurisdiction**

Minnesota

**Filing Date**

12/25/2013

**Status**

Active / In Good Standing

**Renewal Due Date**

12/31/2016

**Registered Office Address**

325 East 3rd Sreet  
Albert Lea, MN 56007  
USA

**Registered Agent(s)**

Carol J Bjorklund

**President**

Carol Nelson  
P.O. Box 11  
Afton, MN 55001  
USA

**Mailing Address**

P.O. Box 27608  
Golden Valley, MN 55427  
USA

### Filing History

## Filing History

Select the item(s) you would like to order:  Order Selected Copies

<input type="checkbox"/>	Filing Date	Filing	Effective Date
<input type="checkbox"/>	12/25/2013	Original Filing - Nonprofit Corporation (Domestic)	

4C

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Date: May 17, 2016  
To: Mayor and City Council  
From: Sandie Thone, City Administrator/Clerk  
Re: Ragnar Relay Race August 13, 2016

***BACKGROUND***

For many years the Ragnar Relay Race has been 'running' through the St. Croix Valley cities. This year The event will be held on August 12<sup>th</sup> and 13<sup>th</sup> of 2016 and begin in Winona and finish in Minneapolis.

***DISCUSSION***

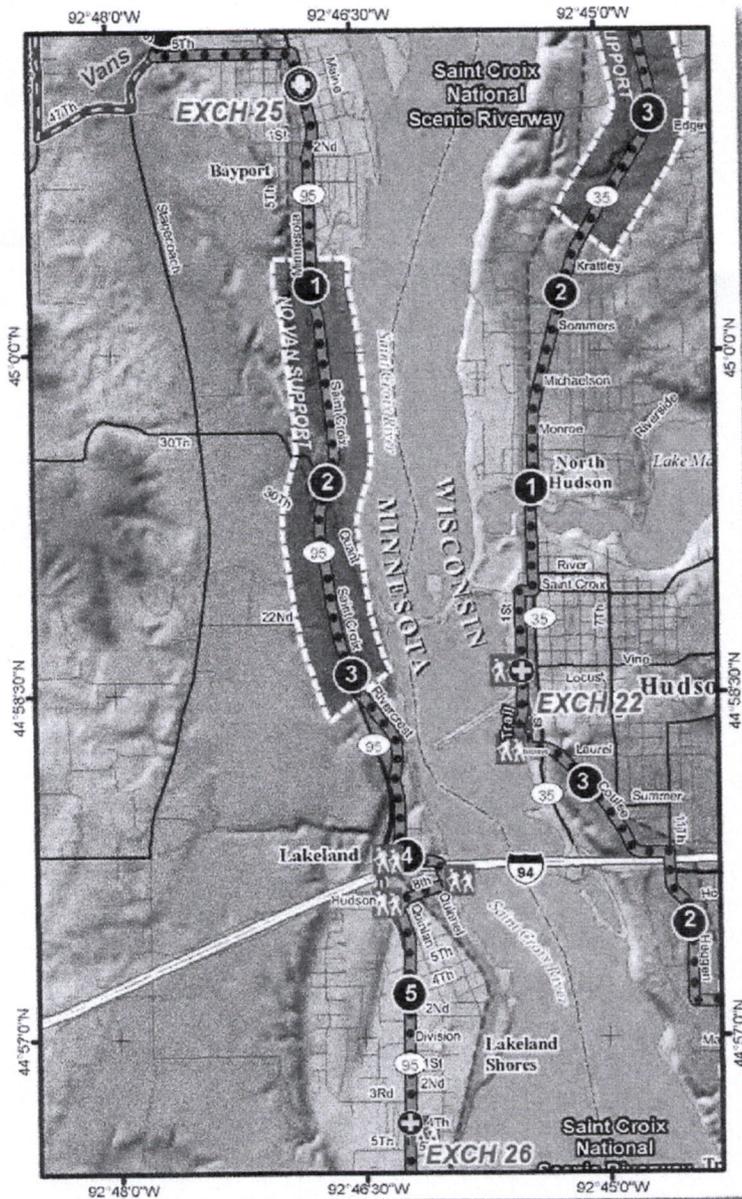
Mary Anderson who coordinates the race approvals has requested approval to run through the city on August 13, 2016 between the hours of 3:00 a.m. and 12:00 noon. The event does not take place on city streets (see route map attached).

***RECOMMENDATION***

Staff respectfully recommends the City Council approve the Ragnar Relay Race on August 13, 2016. Motion, second and simple majority vote needed.

# RAGNAR RACE - AUGUST 13, 2016 (3AM-NOON)

## LEG 26 -- 5.6 MILES -- MODERATE -- PARTIAL NO VAN SUPPORT



### LEG NOTES:

Exch 26 is located at Lakeland School. (475 St Croix Trail S, Lakeland MN)

Notice: Vehicles and runners will be separated for a little while as the runners run on a trail. (No vehicles are allowed on the trail.)

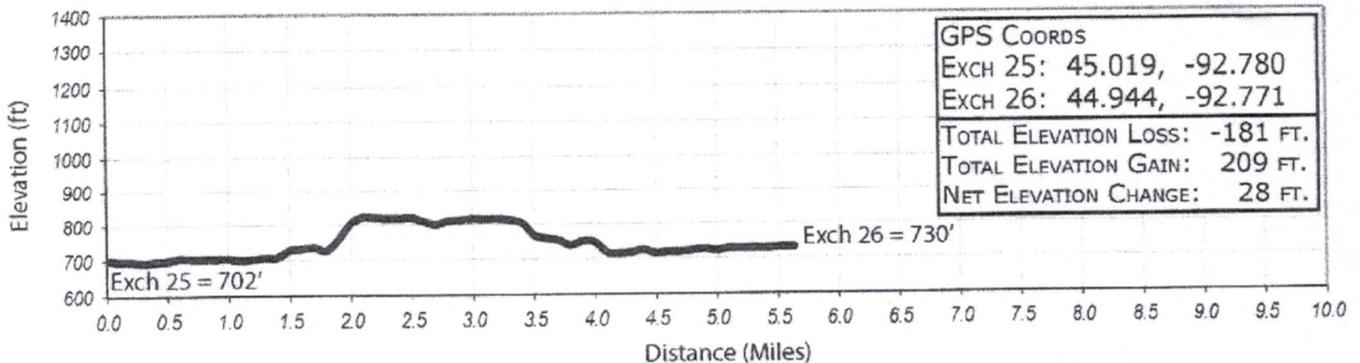
Support Note: Please don't support your runner on any stretch of SR-95 that is 50 mph and above.

### LEG LEGEND:

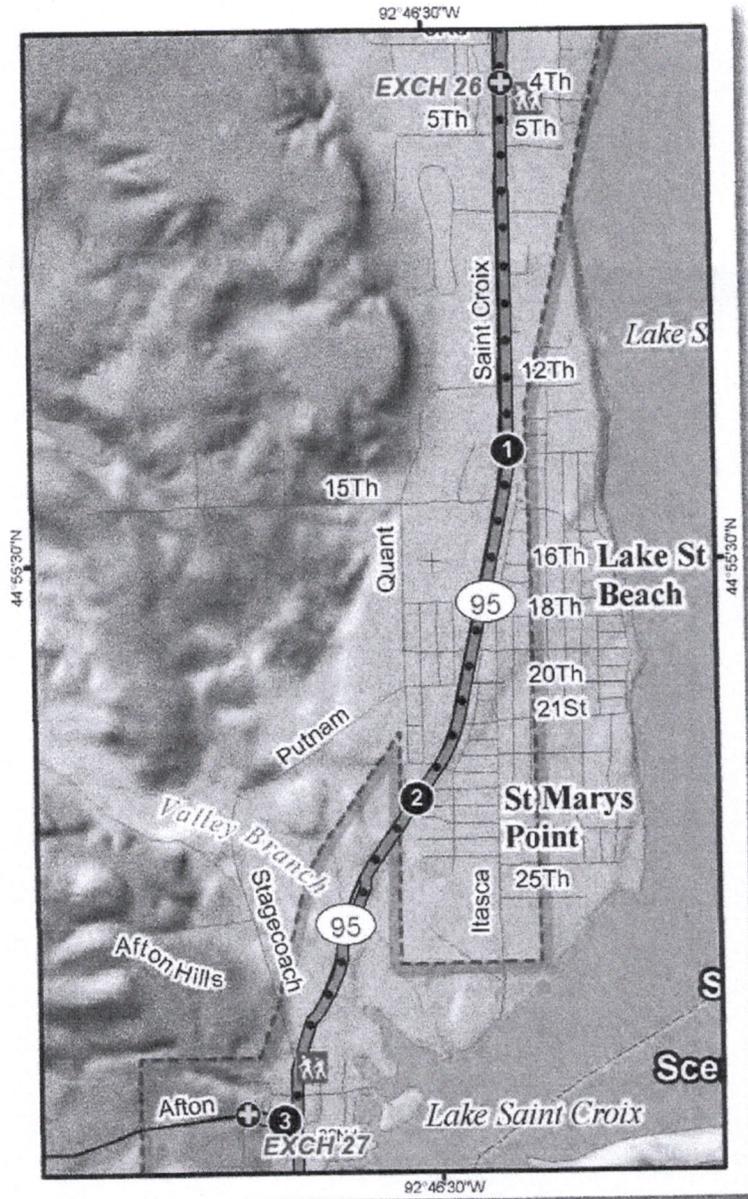
- 0.0 Depart Exch 25 (S) on Hwy 95. Run AGAINST traffic.
- 3.0 Turn Left (SE) on Rivercrest Road N. Run AGAINST traffic.
- 4.0 Continue on trail that runs under 494 bridge.
- 4.2 Right (S) on Quixote Ave. Run AGAINST traffic.
- 4.3 RIGHT (SW) on 8th Street N. Run AGAINST traffic.
- 4.5 LEFT (S) on running trail at Quinian Ave.
- 5.6 Arrive at Exch 26.

### Van Directions:

- \* Follow running route to mile 4.0
- 4.0 Continue (S) on SR-95/St Croix Trail
- 5.5 Arrive at Exch 26



# LEG 27 -- 3.1 MILES -- EASY



## LEG NOTES:

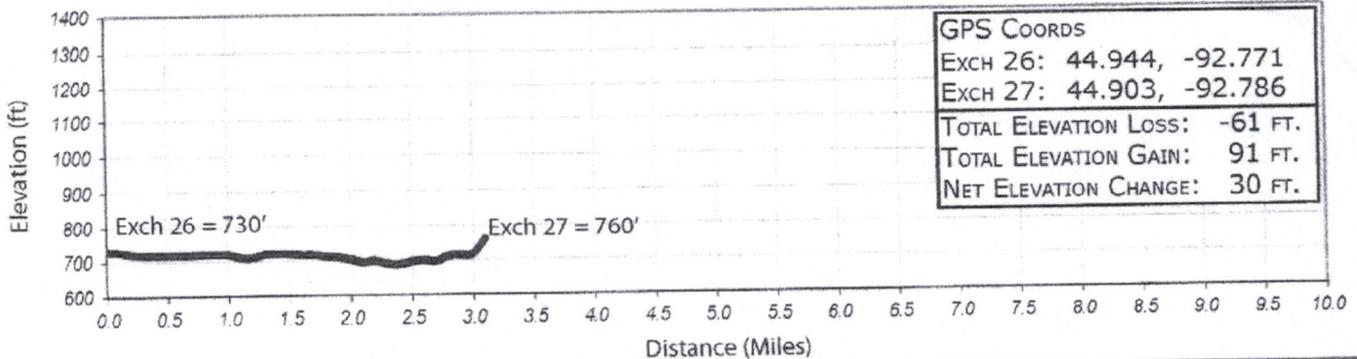
Exch 27 is located at Memorial Lutheran Church. (15730 Afton Blvd, Afton MN)

Notice: Vehicles and runners will be separated for a little while as the runners run on a trail. (No vehicles are allowed on the trail.) Runners will be on a running path the whole time between Exch 26 and 27 that parallels St. Croix Trail/Hwy 18/MN-95.

Safety Note: Use Caution when crossing Hwy 35 in the town of Afton. Use crosswalk.

## LEG LEGEND:

- 0.0 Depart Exch 26, South on Running path.
- 2.8 Continue South on Hwy 95/ St Croix Trail. Run AGAINST traffic.
- 3.0 Right (E) on Afton Blvd. Run WITH traffic.
- 3.1 Arrive at Exch 27



4D

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Date: May 17, 2016  
To: Mayor and City Council  
From: Sandie Thone, City Administrator/Clerk  
Re: Election Update 2016 and Filing Periods

***DISCUSSION***

The Municipal filing period for the city offices of council member (2) and mayor (1) open August 2, 2016 and close August 16, 2016. The withdrawal date is August 18, 2016. You may file at city offices located at 1190 St. Croix Trail South in Lakeland. The filing fee is \$2.00.

In addition, find the Notice of Filing for the 2016 State General Election, Washington County, Minnesota attached which opens May 17, 2016.

Washington County will hold election certification training for election administrators/city clerks on June 28, 2016. Therefore, we have scheduled election judge training for July 13, 2016 at City Hall to train local election judges. We have recruited several new judges this year and are excited to add them to our team.

***RECOMMENDATION***

No action required; Information Only

## **Notice of Filing for the 2016 State General Election Washington County, Minnesota**

**Notice is hereby given** that a general election will be held in Washington County on Tuesday, November 8, 2016 for the purpose of electing candidates for the offices listed below. The filing period for these offices begins at 8:00 a.m. on Tuesday, May 17, 2016 and ends at 5:00 p.m., Tuesday May 31, 2016.

**Candidates for the following offices file with the Secretary of State**, 180 State Office Building, 100 Reverend Dr. Martin Luther King Jr. Drive, St. Paul, MN 55155-1299.

### **Federal Offices:**

Presidential Electors (Ten)  
United States Representative for District 2  
United States Representative for District 4  
United States Representative for District 6

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**Candidates for the following offices may file with Washington County Elections if they reside in Washington County or they may file with the Office of the Minnesota Secretary of State.**

### **State Legislative Offices:**

State Senator for District 38  
State Senator for District 39  
State Senator for District 43  
State Senator for District 53  
State Senator for District 54

State Representative for District 38A  
State Representative for District 38B  
State Representative for District 39A  
State Representative for District 39B  
State Representative for District 43A  
State Representative for District 43B  
State Representative for District 53A  
State Representative for District 53B  
State Representative for District 54A  
State Representative for District 54B

**Judicial Offices: open for filing:** Candidates for the following offices may file with Washington County Elections if they reside in Washington County or they may file with the Office of the Minnesota Secretary of State.

### **Supreme Court:**

Associate Justice Supreme Court Seat 6

### **Appeals Court:**

Seat 5 Court of Appeals Judge  
Seat 8 Court of Appeals Judge  
Seat 11 Court of Appeals Judge  
Seat 13 Court of Appeals Judge  
Seat 14 Court of Appeals Judge  
Seat 16 Court of Appeals Judge  
Seat 17 Court of Appeals Judge  
Seat 18 Court of Appeals Judge  
Seat 19 Court of Appeals Judge

**Tenth Judicial District:**

Seat 2 10<sup>th</sup> District Court Judge  
Seat 3 10<sup>th</sup> District Court Judge  
Seat 8 10<sup>th</sup> District Court Judge  
Seat 13 10<sup>th</sup> District Court Judge  
Seat 18 10<sup>th</sup> District Court Judge  
Seat 19 10<sup>th</sup> District Court Judge  
Seat 20 10<sup>th</sup> District Court Judge  
Seat 27 10<sup>th</sup> District Court Judge  
Seat 28 10<sup>th</sup> District Court Judge  
Seat 29 10<sup>th</sup> District Court Judge  
Seat 30 10<sup>th</sup> District Court Judge  
Seat 31 10<sup>th</sup> District Court Judge  
Seat 40 10<sup>th</sup> District Court Judge  
Seat 41 10<sup>th</sup> District Court Judge  
Seat 42 10<sup>th</sup> District Court Judge  
Seat 44 10<sup>th</sup> District Court Judge  
Seat 45 10<sup>th</sup> District Court Judge

**Candidates for the following offices file with the Washington County Elections Division, 14949 62<sup>nd</sup> Street North, Stillwater, MN 55082**

**County Offices:**

County Commissioner for District 1  
County Commissioner for District 3  
County Commissioner for District 5  
County Commissioner for District 2 (Special for remainder of two years)

Soil & Water Supervisor for District 1  
Soil & Water Supervisor for District 3  
Soil & Water Supervisor for District 5

# Filing Periods

See Presidential Ballot Access for dates relating to presidential candidates.

<i>Filings and withdrawals are due by 5:00 p.m.</i>		<b>Election Year</b>		
<b>Candidate Filing Period</b>		2016	2017	2018
<b>Candidate Filing Period for March Township Elections</b>	Opens:	12/29/15	01/03/17	01/02/18
	Closes:	01/12/16	01/17/17	01/16/18
	Withdraw by:	01/14/16	01/19/17	01/18/18
	TOWNSHIP ELECTION DAY	03/08/16	03/14/17	03/13/18
<b>Candidate Filing Period for State Primary and General Election, and for Municipal/School District Elections in which a primary is possible.</b>	Opens:	05/17/16	05/16/17	05/22/18
	Closes:	05/31/16	05/30/17	06/05/18
	Withdraw by:	06/02/16	06/01/17	06/07/18
	PRIMARY	08/09/16	08/08/17	08/14/18
<b>Candidate Filing Period for Municipal/School District Elections in which a primary is not to be held.</b>	Opens:	08/02/16	08/01/17	07/31/18
	Closes:	08/16/16	08/15/17	08/14/18
	Withdraw by:	08/18/16	08/17/17	08/16/18
	ELECTION DAY	11/08/16	11/07/17	11/06/18

\*There are special statutes on withdrawal for state constitutional officers. See the Withdrawal page for more information.

Refer to the Election Dates webpage for more details on what offices will be on general election ballots in even years. Federal, state, and county candidates always file in the period for the State Primary and General Election in even years.

5A

PF Citations by City Rpt

ALCOPFR\$

QIJS

Page 1

5/01/16 5:16:53

Washington County Sheriff's Office  
CITATIONS BY CITY REPORT

City Selected: LAKELAND

From Date: 4/01/2016 To: 4/30/2016

LAKELAND

Offense Date	Offense Time	Location	Citation #
4/02/2016 Statute 169	1845 09 4	157 ST CROIX TR HIT & RUN-PROP DAMAGE	CT8214768
4/03/2016 Statute 169	1000 79 1	ST CROIX TR / I94 FDCR	CT8223847
4/03/2016 Statute 169	0812 79 1	PARK N RIDE FDCR	CT8224488
4/19/2016 Statute 171	1950 24 1	ST CROIX TR / 8TH ST DAS	CT8219231
4/22/2016 Statute 171	1358 24 2	QUINMORE AV / 8TH ST DAR	CT8221214

Total for City: LAKELAND

5

\*\* END OF REPORT \*\*

Washington County Sheriff's Office  
CONTRACT ICR's  
Contract Report for LAKELAND  
For the Period 4/01/16 To 4/30/16

Date	Time	ICR #	ID#	Street Name	Complaint
4/01/16	13:16:20	116011536	0077	QUINNELL AV	SUSP VEH
4/01/16	14:45:04	116011555		QUAMWELL AV	RECEIPT# 160001854
4/02/16	18:56:33	116011679	0094	SAINT CROIX TR	HIT AND RUN REPORT **RESTAC
4/02/16	23:32:28	116011692	1209	SAINT CROIX TR	DOMESTIC
4/03/16	8:15:27	116011705	0130	RIVERCREST RD	FDCR JULY 15
4/03/16	10:02:01	116011708	0140	SAINT CROIX TR	FDCR 4/15 ON MN LIC 064GUR
4/04/16	4:02:42	116011776	0092	RIVERCREST RD	ALARM **
4/04/16	8:06:30	116011798		7TH ST	RECEIPT# 160001861
4/04/16	14:40:27	116011881	0100	21ST ST	OFFICER INFO
4/06/16	14:43:22	116012183	0068	8TH ST	PROPERTY RETRIEVAL
4/06/16	15:33:13	116012187	0091	RIVERCREST RD	SCAM REPORT
4/07/16	7:17:57	116012248	0160	I94	ROAD HAZARD
4/08/16	3:14:50	116012377	0067	LAKELAND SHORES	SUSPICIOUS ACTIVITY
4/08/16	22:53:15	116012540	0091	SAINT CROIX TR	SUSPICIOUS ACTIVITY
4/09/16	10:16:52	116012566	0075	RIVERCREST RD	VEH LOCKOUT
4/09/16	12:13:51	116012576	0075	I94	DISABLED VEHICLE *TRANSFERR
4/10/16	5:05:15	116012625	0118	QUINNELL AV	SUSPICIOUS VEHICLE
4/10/16	7:46:54	116012630	0068	LAKELAND	LEGAL QUESTION
4/10/16	16:36:51	116012668	0174	RIVERCREST RD	SUICIDAL FEMALE/LEVEL 1
4/10/16	17:40:28	116012677	0082	QUINNELL AV	SICK RACCOON
4/11/16	19:00:37	116012799	0174	QUIXOTE AV	DIRECTED PATROL - SPEED
4/11/16	23:19:44	116012817	0190	7TH ST	SUSPICIOUS PERSON
4/12/16	9:09:21	116012838	0160	3RD ST	ATTEMPTED PHONE SCAM
4/12/16	17:29:51	116012916	1280	QUIXOTE AV	DIRECTED PATROL - SPEED
4/13/16	0:28:45	116012951	0159	SAINT CROIX TR	CAR VS DEER
4/13/16	11:23:04	116013000	0160	QUIXOTE AV	DIRECTED PATROL
4/13/16	11:31:58	116013001	0160	QUINNELL AV	ALARM
4/13/16	18:53:52	116013089	0176	QUIXOTE AV	DIRECTED PATROL-SPEED
4/13/16	19:42:03	116013096	0093	10TH ST CT	SUSPICIOUS ACTIVITY
4/14/16	7:36:15	116013128	0151	SAINT CROIX TR	LEVEL 3 INSPECTION/FAIL TO OBE
4/14/16	8:35:18	116013138	0171	HUDSON BRIDGE	ACCIDENT
4/14/16	10:23:57	116013159	0075	7TH ST	OFFICER INFO
4/14/16	19:24:52	116013250	1280	10TH ST CT	POSS SMALL AMOUNT MJ IN MV/POS
4/15/16	9:55:45	116013295	0151	SAINT CROIX TR	LEVEL 3 INSPECTION/FAIL TO OBE
4/15/16	12:34:23	116013345	0160	I94	ASSIST
4/15/16	14:39:28	116013392	0151	SAINT CROIX TR	LEVEL 3 INSPECTION/FAIL TO OBE
4/15/16	15:29:13	116013408		QUINLAN AV	RECEIPT# 160002134
4/15/16	18:31:06	116013439	1280	QUAMWELL AV	MEDICAL LEVEL 1
4/15/16	19:24:14	116013455	0076	QUEENAN AV	DRIVING COMPLAINT
4/16/16	11:19:11	116013518	0088	QUINNELL AV	BURGLAR ALARM
4/16/16	12:46:04	116013530	0160	QUINNELL AV	ALARM
4/17/16	12:10:37	116013639	0130	QUIXOTE AV	DIRECTED PATROL
4/17/16	23:57:57	116013692	0093	QUIXOTE AV	SUSPICIOUS ACTIVITY
4/18/16	17:15:58	116013796	0174	SAINT CROIX TR	PUBLIC ASSIST
4/19/16	8:23:10	116013844		UPPER 18TH ST	RECEIPT# 160002168
4/19/16	12:07:36	116013881		21ST ST	RECEIPT# 160002180
4/19/16	17:49:26	116013944	0174	QUINNELL AV	CITY COUNCIL MEETING
4/19/16	19:55:52	116013953	0196	SAINT CROIX TR	TRAFFIC-CIT:DAS
4/21/16	1:23:06	116014102	0080	I94	WRONG WAY **EB I94/ST CROIX
4/21/16	19:04:52	116014218	0091	8TH ST	MOTORIST ASSIST
4/21/16	20:42:47	116014227	0083	QUINMORE AV	MEDICAL LEVEL 1
4/22/16	8:54:41	116014258	0151	SAINT CROIX TR	LEVEL 3 INSPECTION/FAIL TO OBE

CJBWPF\$  
 Washington County Sheriff's Office  
 CONTRACT ICR's  
 Contract Report for LAKELAND  
 For the Period 4/01/16 To 4/30/16

Date	Time	ICR #	ID#	Street Name	Complaint
4/22/16	10:33:04	116014272	0151	I94	LEVEL 3 INSPECTION/FAIL TO OBE
4/22/16	14:07:58	116014326	0160	QUINMORE AV	TRAFFIC - DAR
4/23/16	0:52:06	116014387	1204	SAINT CROIX TR	911 ABANDONED
4/24/16	4:13:06	116014483	1209	I94	IMPAIRED DRIVER
4/24/16	14:56:10	116014506	0160	2ND ST	TRAFFIC
4/25/16	14:14:38	116014625	0088	SAINT CROIX TR	BURGLARY REPORT **CALL 1ST-
4/25/16	16:16:33	116014649	0091	SAINT CROIX TR	BURG ALARM
4/25/16	20:57:54	116014684	0091	QUEENAN AV	MEDICAL LEVEL 1
4/26/16	7:11:07	116014706	0130	5TH ST	MEDICAL **LEVEL 1**
4/26/16	10:17:10	116014728	0100	IRVIN CIR	OFFICERS INFO
4/26/16	10:30:27	116014730	0130	SAINT CROIX TR	SUSP MALE
4/26/16	12:20:31	116014755	0130	10TH ST CT	SUSPICIOUS ACTIVITY
4/26/16	12:40:38	116014758	0130	SAINT CROIX TR	STUDENT WALK AWAY
4/26/16	14:31:06	116014775	0160	RIVERCREST RD	MEDICAL/UNKNOWN SITUATION *LE
4/26/16	17:09:00	116014804	0084	QUENTIN AV	FRAUD REPORT
4/26/16	22:47:24	116014819	0061	SAINT CROIX TR	POSS DK DRIVER
4/27/16	8:50:22	116014836	0151	ST CROIX TR	LEVEL 3 INSPECTION/FAIL TO OBE
4/27/16	8:52:31	116014837	0130	QUEHL AV CT	MEDICAL **LEVEL 1**
4/27/16	21:07:28	116014931	0061	QUEENAN AV	UNWANTED MALE
4/27/16	21:34:05	116014932	1209	7TH ST LN	DOMESTIC **RSTK AMB
4/28/16	15:38:50	116015032	0147	SAINT CROIX TR	TRAFFIC/MOPED
4/29/16	11:20:09	116015137	0063	QUIXOTE AV	DAMAGE TO PROPERTY
4/29/16	15:10:03	116015190	0084	7TH ST LN	VICTIM NOTIFICATION
4/29/16	17:04:51	116015223	0129	SAINT CROIX TR	GRASS FIRE **RSTK-2ND GR
4/30/16	14:26:26	116015312	0160	I94	FE ON BRIDGE

Total ICRs Processed: 77

\*\* END OF REPORT \*\*

Incident Number (FD1.5)	Incident Date (FD1.3)	Fire Incident Type	Incident Street Number (FD1.10)	Incident Street Name (FD1.12)	Incident Street Type (FD1.13)	Incident Street Suffix (FD1.14)	Incident Time	Incident District/Zone	Incident Aid Given Or Received
16082	4/1/16	Unauthorized burning	1770	Majestic Pines	TRL		12:02	AFT	None
16083	4/2/16	No incident found on arrival at dispatch address		I-94 East of 71			08:38	I94	None
16084	4/3/16	EMS call, excluding vehicle accident with injury	750	Highway 95			04:38	BPT	Mutual aid given
16085	4/6/16	Dispatched and cancelled en route		Highway 95			07:45	BPT	Mutual aid given
16086	4/7/16	EMS call, excluding vehicle accident with injury	1560	St. Croix Trail			23:50	LSB	None
16087	4/8/16	EMS call, excluding vehicle accident with injury	4898	Norcrest	AVE	S	18:16	AFT	None
16088	4/10/16	EMS call, excluding vehicle accident with injury	969	Rivercrest	RD	N	16:43	LKD	None
16089	4/11/16	EMS call, excluding vehicle accident with injury	13115	50th	ST		13:10	AFT	None
16090	4/11/16	Unauthorized burning	4456	Trading Post	TRL		13:25	AFT	None
16091	4/13/16	EMS call, excluding vehicle accident with injury	12318	40th	ST	S	12:45	AFT	None
16092	4/13/16	EMS call, excluding vehicle accident with injury	1943	Racine	AVE	S	20:16	LSB	None
16093	4/15/16	EMS call, excluding vehicle accident with injury	98	Quamwell	AVE	N	18:34	LKD	None
16094	4/15/16	No incident found on arrival at dispatch address		Quello	AVE		22:14	LSB	None
16095	4/16/16	EMS call, excluding vehicle accident with injury		Crestview	AVE		19:42	HUD	Mutual aid given
16096	4/16/16	Dispatched and cancelled en route		St. Croix	TRL		20:36	HSTG	None
16097	4/17/16	EMS call, excluding vehicle accident with injury	12440	8th	ST	S	02:51	AFT	None
16098	4/17/16	HazMat release investigation w/no HazMat		20th	ST	S	02:58	LSB	None
16099	4/18/16	Brush or brush-and-grass mixture fire	1330	Quasar	CT	S	10:57	LSB	None
16100	4/18/16	EMS call, excluding vehicle accident with injury	10	Coulee	RDG		12:24	AFT	None
16101	4/19/16	EMS call, excluding vehicle accident with injury	1890	Quarry	AVE		14:12	LSB	None
16102	4/21/16	EMS call, excluding vehicle accident with injury		I-94 near St. Croix Trail			01:35	I94	Mutual aid received

Incident Number (FD1.5)	Incident Date (FD1.3)	Fire Incident Type	Incident Street Number (FD1.10)	Incident Street Name (FD1.12)	Incident Street Type (FD1.13)	Incident Street Suffix (FD1.14)	Incident Time	Incident District/Zone	Incident Aid Given Or Received
16103	4/21/16	EMS call, excluding vehicle accident with injury	2030	St. Croix	TRL	S	01:37	LSB	None
16104	4/21/16	EMS call, excluding vehicle accident with injury	197	Quinmore	AVE	N	20:46	LKD	None
16105	4/25/16	EMS call, excluding vehicle accident with injury	13115	50th	ST	S	14:17	AFT	None
16106	4/25/16	EMS call, excluding vehicle accident with injury	391	Queenan	AVE	S	21:00	LKD	None
16107	4/26/16	EMS call, excluding vehicle accident with injury	16233	5th	ST	S	07:14	LKD	None
16108	4/26/16	EMS call, excluding vehicle accident with injury	3133	Moyer	AVE	S	14:32	AFT	Mutual aid received
16109	4/26/16	Dispatched and cancelled en route	1151	Rivercrest	RD	N	14:34	LKD	None
16110	4/27/16	EMS call, excluding vehicle accident with injury	267	Quehl Avenue	CT	N	08:57	LKD	None
16111	4/28/16	EMS call, excluding vehicle accident with injury	16440	7th Street	LN		03:37	LKD	None
16112	4/28/16	Motor vehicle accident with injuries		Manning	AVE	N	08:11	AFT	None
16113	4/29/16	EMS call, excluding vehicle accident with injury		I-94			16:06	I94	None
16114	4/30/16	Alarm system sounded due to malfunction	13350	24th	ST	N	12:55	BPT	Mutual aid given
16115	4/30/16	Arcing, shorted electrical equipment	4723	River	RD	S	16:34	AFT	None

### Report Criteria

Incident Date (Fd1.3): Is On or After 4/1/2016  
 Incident Date (Fd1.3): Is On or Before 4/30/2016

### Incident Type

Incident Type	Count
<b>1 Fire</b>	
Brush or brush-and-grass mixture fire (142)	1
	<b>1</b>
<b>3 Rescue &amp; Emergency Medical Service Incident</b>	
EMS call, excluding vehicle accident with injury (321)	22
Motor vehicle accident with injuries (322)	1
	<b>23</b>
<b>4 Hazardous Condition (No Fire)</b>	
Arcing, shorted electrical equipment (445)	1
	<b>1</b>
<b>5 Service Call</b>	
Unauthorized burning (561)	2
	<b>2</b>
<b>6 Good Intent Call</b>	
Dispatched and cancelled en route (611)	3
No incident found on arrival at dispatch address (622)	2
HazMat release investigation w/no HazMat (671)	1
	<b>6</b>
<b>7 False Alarm &amp; False Call</b>	
Alarm system sounded due to malfunction (735)	1
	<b>1</b>
<b>Total Incident Count:</b>	<b>34</b>

### Districts

Districts	Total
AFT	11
BPT	3
HSTG	1
HUD	1
I94	3
LKD	8
LSB	7
<b>Grand Total</b>	<b>34</b>

### Mutual Aid

Given	Incidents
*NA	2
BAYPORT	2
<b>Total</b>	<b>4</b>

Received	Incidents
*NA	2
<b>Total</b>	<b>2</b>

\*NA = ST. CROIX EMS OR LAKEVIEW EMS

## Lower St Croix Valley Fire Protection District Board Minutes

April 13, 2016

**Next Meeting Dates:** *Committees* – April 25, 2016, *Board* – May 11, 2016

**Present:** Dick Bend, Joe Freesmeier, Dick Glasgow, Don James, Tom McCarthy, Jim Stanton, Sally Thompson, Gary Williams, Tom Wilson.

**Also Present:** Tom Niedzwiecki, Jim Stanley, Kris Peterson.

1. **Call to Order.** Chair Jim Stanton called meeting to order.
2. **Agenda Approval.** Add “Policy for new Fire Sign Postings” under New Business. Chair Stanton approved Agenda with addition.
3. **Meeting Minutes Approval.** Motion by Tom Wilson, seconded by Gary Williams to approve Minutes of March 10, 2016 as presented. M/C by unanimous vote.
4. **Treasure/Accountant Report** – Tom Niedzwiecki. *Monthly Financials.* Accountant Niedzwiecki reviewed Financial Reports March 2016 with Board. Chair Stanton approved Financial Reports March 2016 as presented. *Monthly Bills.* Motion by Gary Williams, seconded by Dick Glasgow to approve checks #13156-13253 and auto-payments #201604001-201604028 totaling \$62,401.77 as presented. M/C by unanimous vote.
5. **Finance Committee** – Tom Wilson. *2016 Budget Meeting.* 2017 Budget is still rough but needs to be approved at May meeting so we can go to Cities with it in June. Captain Kris Peterson reminded Board that when he retires his position should be made a full-time position and the Budget should reflect that. Accountant Niedzwiecki requested that all fire fighters be able to take advantage of direct deposit. Motion by Tom Wilson, seconded by Gary Williams to allow fire fighters to utilize direct deposit. M/C by unanimous vote. Current building insurance is \$2,000,000 at \$4,000,000. Replacement cost is \$3,891,393. Motion by Don James, seconded by Dick Glasgow to raise insurance on fire department from \$2,000,000 to \$4,000,000. M/C by unanimous vote.
6. **Operations Committee** – Don James. *Full time position pto policy and short term disability.* No report.
7. **Ambulance Committee** – Sally Thompson. No report.
8. **Fire Department Report** – Kris Peterson. *Monthly Run Report.* 19 Runs. Afton (8), I94 (2), Lakeland (4), Lake St Croix Beach (3), St Mary’s Point (2). *District Concerns.* Our new fire truck will be on display at FDIC firefighters instructor conference. Custom put extra LED headlights on to dress it up for the conference.
9. **Old Business.** *I94 Legislation.* No report. *LSCVFD Exterior Sign being installed.* Sign is in process of being completely installed. An electrician will come to finish it.

**New Business.** *Lower St Croix Valley Alliance Meeting Approval 4:30-6:00 pm May 23, 2016.* Motion by Dick Glasgow, seconded by Don James to approve meeting of the LSCVA meeting at fire department from 4:30-6:00 pm on May 23, 2016. M/C by unanimous vote. Motion by Jim Stanton, seconded by Dick Glasgow to approve: Policy for new Fire Sign Postings: Priority - 1) Fire Announcements, 2) Public Safety, 3) City Announcements. Up to 30 days notice from a City Official to Chief Deputy Jim Stanley – written or e-mail. M/C by unanimous vote. Letter will be sent to Cities.

10. **Adjourn.** Motion by Tom McCarthy, seconded by Jim Stanton to adjourn. M/C.

Respectfully yours,

Sally Thompson  
Secretary

## Lakeland Update – April, 2016

1. Hamline University student David Lewis continues to work with me on the Recreational Programming section of the 2020 Comp Plan, while Paul Carroll has requested to continue working on the Lakeland Beach Fishing Pier this Summer to make that project a reality should the City Council choose to do so....and he has a line on some grants to go after!
2. With Lakeland City Council approving a motion to continue the working relationship last October, I confirmed that Lakeland can continue to use Hamline Student Teams again this Summer. The Mayor, if available, and I will be meeting with Hamline MPA students on June 25th to present additional projects for them to work on.
3. At some point, it would be good to talk to Mary Devine about doing a story on these presentations, so that we can showcase this positive work to our residents.
4. Now that the City Council has made a decision on the Architect for City Hall, I will work with the Clerk Administrator and Architect on list of possible contractors to send the plans and specs to...there are 3 in particular that I will forward to the Architect when the time comes.
5. In answer to a question that came up at a recent City Council Meeting, the Washington County HRA administrates the Community Development Block Grant Program (CDBG) in the county. It is a competitive process with about \$317,000 available for projects. Applications for 2015 are closed, and now approved by the County Commissioners on 2/16, but it would be good to meet with the HRA to take a look at possible projects for 2017. I will facilitate that for the City later this Summer.
6. Now that Thrive MSP 2040 has laid out the direction, the Metro Council has sent individualized city System Statements in early November, so Lakeland now has a “blueprint” on what the City needs to do to comply with the 4 Policy Plans and can now proceed with their Comp Plan. The System statement for Lakeland is 76 pages long, so Mayor Williams and I met with City’s Sector Rep, Ryan Garcia, on January 28<sup>th</sup> for further direction on how best to tackle the Comp Plan requirements. Overall, there are sections that we can complete by simply updating the current Comp Plan – Aviation, Transit System, and Metro Highway System are 3 examples that will require minimal revisions. I started drafting those sections in April for future Council

review. I will meet with Sandie to discuss presentation to the Council at a future meeting this Summer.

7. To assist the City in completing the Comp Plan by the end of 2018, Metro Council has developed a Comp Plan training program called Planit. It is now up and running. Add that to the tools and resources already available to do the Housing Element of the Comp Plan and the technical assistance that will be available throughout the process and it is making it an easier process for Lakeland to comply with this time around.
8. The Metro Council reminded Cities this month that they must submit their Comp Plan to the School District(s) 6 months b/f approval for their comments – the purpose is mainly to align school district plans and the Housing Element of the Comp Plan. Since Lakeland is expected to decline slightly in population in the next decade, I don't expect this requirement to be a significant hurdle for Lakeland's Comp Plan approval.
9. As part of the Comp Plan process, all local Water Supply Plans are now to be submitted to the DNR only and on a standard template provided by the DNR. The DNR will then contact Metro Council for their comments on consistency with regional plans. The DNR will then approve the local Water Supply Plan, which will fulfil the requirements of the Comp Plan. Lakeland must submit their Water Supply Plan on the template by 12/31/16. Assuming approval, the city simply makes this part of the Comp Plan. I'll be working with Matt on the inclusion into the Comp Plan.
10. The 2016 Legislative Session began on March 8<sup>th</sup> and the end of the Session looms on May 23<sup>rd</sup>. As I write this Update on the first week of May, there are, of course, many Bills that may affect Lakeland, but while the Committee work is complete, most Bills have not been taken up on the floor of the House and Senate...a lot of "action" remains! With 3 weeks to go, there are 4 major bills in play – a bonding bill, a transportation funding package, a supplement to the State's Biennial Budget, and an Omnibus Tax Bill. Let's take a closer look on how each affects Lakeland.
11. First, the Tax Bill, b/c there has been a push to continue aid for City streets...this netted Lakeland valuable \$ last year for maintenance of City streets, but was only for 1 year...the same goes for including more funds for LGA. Both would be a key Legislative positions for Lakeland, but perhaps less likely due to a 25% decrease in the State Budget surplus, plus the latest forecast shows another \$11 million drop in

projected revenue. There is also a “reverse referendum” in the House Tax Bill that would institute a process to allow taxpayers to challenge ANY tax levy increase.

12. In addition, a Bill that could save Lakeland \$ on the new City Hall is the construction material sales tax simplification, which would allow cities to file for a refund of sales taxes paid AFTER the project is completed. If this were approved, then this could save significant \$ on the City Hall project, but we’ll see if it gets in the final version of the legislation. It wouldn’t hurt to contact our legislators on this Bill.
13. As odd as it seems the Transportation Bill Conference Committee has spent time talking about the Metro Council restructuring, which would include local officials on the Metro Council Board. Again, not much in any Bills that affect Lakeland directly in terms of transportation.
14. Now, to the Bonding proposals. Governor Dayton’s proposal was for \$1.4 Billion in January, while the Senate’s recently released Bonding Proposal is at about \$1.6 Billion. The House has not released theirs yet, but it is rumored to be a little less than \$1 Billion. If true, then there’s a significant gap between them. There’s not much that directly affects Lakeland, but it does open the door to possible grant opportunities in a number of areas.
15. As for the Supplemental Budget, the Conference Committee has just begun their negotiations – Governor proposed spending about \$689 Million of the \$900 Million surplus, while the House would spend it all and the Senate would spend \$400 Million. This will be key for funding much of what matters to cities.
16. The Elections Bill has passed the Full Senate, so appears to be on the fast track to the Governor’s desk for signature...if it’s approved, then there’ll be lots of changes for the upcoming elections...stay tuned!
17. The Feds are at it again...proposed changes to the overtime law are imminent, which could add OT costs to cities. More specifically, the required salary level for an employee to be exempt from OT will go from \$23,600 to \$50,440, which means if a City does not pay the higher wage level, s/he will be eligible for OT...any positions in Lakeland fall under this new rule?
18. The foreclosure data provided by the Washington County HRA thru February, 2016 shows that the news continues to be good – down 26 over the first 2 months of 2016 over 2015...and, none in Lakeland. Also included was a 7-year summary of foreclosures for each Washington County cities, which shows that Lakeland had 66 foreclosures...in the last 7 years, about 1 in every 11 houses in Lakeland was foreclosed.

**The statistics show a measurable loss of tax base for Lakeland (not to mention the human side of the pain of losing your home). I will be working with Washington County HRA on a report summarizing the foreclosure information, so that you can get a snapshot of how the housing crisis affected Lakeland.**

- 19. The Final 2016 Property Tax Levies for all Minnesota Cities was an average 4.5% increase, which is far above Lakeland's increase, according to the State of Minnesota Revenue Department.**
- 20. The DNR has begun contacting cities asking for assistance in producing "buffer protection" maps, so Lakeland should expect to receive one given its location on the St. Croix River. It's part of a 4 phase effort to meet a new State law of producing buffer protection maps by July, 2016. Once the city receives the letter, I can help with the project and the City's role in it, if you wish.**
- 21. The Washington County Board of Commissioners heard the Library's Strategic Plan and adopted it on February 16<sup>th</sup>. In reviewing it, as it pertains to Lakeland, the Goals include cultivating partnerships, improving library facilities, and making libraries a "tech hub". I think that the next step should be to invite the Library Board Chair to make a presentation to the Council on the Strategic Plan and how it might affect Lakeland. Let me know if you'd like me to set that up.**
- 22. Other news: the LMC is already thinking 2017 – you can sign up for one of their 4 Policy Committees – Improving Service Delivery, Improving Local Economies; Improving Fiscal Futures; and/or Human Resources/Data Practices - online on their website; Metro Cities is also beginning their Policy process for the 2017 Legislative session – you can serve on the Transportation/General Government, Municipal Revenues, Metro Agencies, and/or the Housing/Economic Development Committees by signing up on their website; the LMC also released their annual "State of the Cities Report", which concludes that things are fairly stable for cities right now – costs to comply w/ the Clean Water Act, costs of the Affordable Health Care Act, and the lack of funding for infrastructure being the most common concerns of cities; you can also help select the 2016 LMC Board by applying to be on the Nominating Committee, which meets at LMC conference in June – email [ksundheim@lmc.org](mailto:ksundheim@lmc.org); and the Washington County HRA's legislation to change it into a Community Development Agency (CDA), which would give the powers of both an HRA and an EDA, was laid over by the House and the Senate for possible inclusion in an Omnibus Tax Bill.**

**23. May, 2016 Work Plan – Focus on the 2020 Comp Plan Process, City Hall project, Emerald Ash Borer Presentation for a CC Meeting, Setting Meeting on CDBG process; and Hamline Projects Coordination...and any other projects!**

MAY 02 2016

ANIMAL CONTROL REPORT  
 Humane Animal Control Service  
 Kathi Pelnar CVT, ACO  
 Wildlife - Domestic - Exotics

Month Year April 2016  
 City Lakefield

Date	Time	Caller	Location	Description of Animal	Collar / Tag	Dry Run	Overnight	Fee	Milage	Total
4/1/16		No Calls Out In January								-
		No Warning Letters Sent								-
		Lost Reports 1Dogs/1Cat	Found Reports 0							-
		PAST DUE FROM OCT..2015								68.10
		PAST DUE FROM Feb..2016								363.71
										-
Total										431.81

Date	Time	Caller	Location	Description of Animal	Collar / Tag	Dry Run	Overnight	Fee	Milage	Total
										-
										-
										-

50

Permit #	Date Out	Name	Address	Res or Comm	Permit type	Other Description	Notes	Last Inspection	
131504	10/7/2013	Randy Simmons	1775	Queens Ave S	Residential	building	garage	detached 28x34	
141580	7/24/2014	Lindsey Pittman/Centraire	16161	6th St N	Residential	Mechanical	Mechanical	furnace	
141589	8/19/2014	Dan Nustvold/Rolling Plains Bldrs	1121	Quentin Ave S	Residential	building	screen porch	18' x 18'	10/14/14
151685	5/14/2015	William Abrah/Renewal By Anderson	16644	7th St N	Residential	accessory	windows	4 windows	
151687	5/27/2015	Don Momes/Windows of America	98	Quality Ave N	Residential	accessory	windows	3/11/16: \$50 reinsp fee; 11 windows, 2 patio doors	3/11/16
151694	6/8/2015	Roger Christenson/K Designers	690	Quixote Ave N	Residential	accessory	windows	1 patio door	
151696	6/16/2015	Bill Curtis/Titan Exterior	16539	10th St Ct S	Residential	accessory	reroof		
151698	6/18/2015	Vicki Belisle	312	Quinmore Ave N	Residential	building	addition	18' x 20'	7/1/15
151705	7/1/2015	Melissa Magler	303	Quentin Ave N	Residential	accessory	fence		
151709	7/9/2015	Jake Lopac/Renewal By Anderson	412	Quinmore Ave N	Residential	accessory	windows	6 windows, 1 entry door	
151710	7/9/2015	Donald Brunckhorst/Renwal by Anderson	16643	4th St N	Residential	accessory	windows	5 windows; 11/2/15 Owner called - he is out of town until April (down south) - they had an insp scheduled but no one showed - he will try to remember to call us when he gets back Don 651-269-1366 tm	
151711	7/9/2015	Jerri Schneider/Bear Roofing	16585	11th St Ct N	Residential	accessory	reroof		
151715	7/30/2015	Afton/Lakeland School/Septic Solutions	475	St Croix Ave S	commercial	plumbing	plumbing	plumbing for septic system	
151719	7/30/2015	Brian Talcott/TRS Builders	384	Queenan Ave S	Residential	accessory	reroof		
151722	8/3/2015	Joshua Clark	16131	3rd St N	Residential	building	remodel	remodel kitchen and replace water heater, furnace	11/25/15
151726	8/6/2015	Bob Andersen/Performance Pools	303	Quentin Ave N	Residential	building	pool	in ground	5/27/15
151729	8/10/2015	David Jacobsen/Hillside Lifts	16684	7th St S	Residential	building	tram		
151730	8/10/2015	Steve Zigan	301	Quentin Ave N	Residential	accessory	reroof		
151733	8/27/2015	Melissa Magler/Antonsen Construction	303	Quentin Ave N	Residential	building	garage	28' x 36'	
151735	9/3/2015	Andy Tappan	16063	3rd St N	Residential	Accessory	Re-Roof		
15-02	10/21/2015	Keith Knefelkamp	180	Quality Ave S	Residential	building	remodel	10/21/15 mailed over night delivery; repl 2 windows, front door, and add 3x3 landing on outside of new front door location	
15-03	10/30/2015	Pete Smith/Jim Klem Co	464	Quinlan Ave S	Residential	building	new home	TEMP CO UNTIL 6/1/16 - issued 3/23/16 SEND SEC WORKSHEET W/INSPECTOR TO HAVE COMPLETED AND RETURN BACK TO US; IRC-1, no deck, fin bsmt, no fp, no ws, no is	3/21/16
16-01	3/18/2016	Valley Baptist Church	860	St Croix Trail S	commercial	building	remodel	remove foyer and bath walls	
16-02	3/18/2016	Valley Baptist Church/St Croix Plg	860	St Croix Trail S	commercial	plumbing	plumbing		4/26/16
16-03	3/29/2016	John Omer/Image Builders	499	Quinlan Ave S	Residential	Building	remodel	main and lower levels - DOES NOT INCLUDE DECK WORK	
16-04	4/12/2016	Frank Wilson/Carter Custom Constr	16376	7th Street Ln S	Residential	Building	Deck	12x10	
16-05	4/22/2016	Peter T Kemp	677	Quinlan Ave S	Residential	Building	Deck	9 1/2 x 16	
16-06	4/22/2016	Sharon Whitt/Robinson Const	86	Quamwell Ave S	Residential	Building	Egress Window		4/29/16
16-07	5/3/2016	Mike/Lori Carlson	97	Quality Ave N	Residential	Building	demo/rebuild of garage	build new 23x24 detached garage after old detached garage is demolished	



Permit #	Date Out	Name	Address		Res or Comm	Permit type	Other Description	Notes	Last Inspection
LL15-01	9/17/15	Chris Wallberg	768	Quinnell Avenue N	Residential	Accessory	Re-Roof	Flat Roof on East Side	
LL15-03	9/13/15	Jean Sortedahl	261	Quehl Court N	Residential	Accessory	Re-Roof	Garage	
LL15-05	9/17/15	James Ellis	567	Quinlan Avenue N	Residential	Plumbing	Plumbing	Water Heater	
LL15-09	9/30/15	Al McDonough	100	Quality Avenue S	Residential	Accessory	Floating Slab	Floating Slab for future garage	
LL15-14	10/29/15	Steve Zigan	301	Quentin Avenue N	Residential	Accessory	Re-Window	9 windows and front door	
LL15-16	10/21/15	Adam Peterson	397	Quinnell Avenue N	Residential	Accessory	Re-Roof		
LL15-18	10/21/15	Adam Peterson	397	Quinnell Avenue N	Residential	Accessory	Re-Window		
LL15-19	10/26/15	Janet Conroy/Champton Plumbing	1611	3rd Street N	Residential	Plumbing	Plumbing	Water Heater	
LL15-21	11/4/15	Brian Beedle	268	Quinmoore Avenue	Residential	Accessory	Re-Roof		
LL15-22	11/12/15	Jon Morris/Fireside Hearth & Home	901	Quentin Avenue S	Residential	Mechanical	Mechanical	Fire Place & Gasline	11/17/15
LL15-26	12/17/15	John Dewall/One Hour	16028	5th Street S	Residential	Mechanical	Mechanical	Furnace Replacement	
LL16-03	1/8/16	Corey Snider	16655	7th Street N	Residential	Plumbing	Plumbing	Water Heater elec, Clothes Wash	1/26/16
LL16-06	3/4/16	William Abrahamson/EOL Brown Plumb	16644	7th Street N	Residential	Plumbing	Plumbing	Water Heater Replacement	
LL16-07	3/11/16	Walter Jacks/Sela Roofing	1196	Quinian Avenue S	Residential	Accessory	Re-Roof	Garage and detached garage	
LL16-13	4/12/16	Ron Vantine	16711	4th Street	Residential	Accessory	Re-Roof		
LL16-15	4/25/16	Mark Statz	16610	11th Street N	Residential	Accessory	Re-Roof	Detached garage	
LL16-16	4/25/16	Mark Statz	16610	11th Street N	Residential	Accessory	Re-Side	Detached garage	
LL16-18	4/27/16	Regina Zwim/Renewal by Andersen	16140	Upper 2nd Street N	Residential	Accessory	Re-Window	patio door	
LL16-19	4/27/16	Zane Tuenge/Pella Northaland	16170	3rd Street N	Residential	Accessory	Re-Window	patio door	
LL16-20	4/27/16	Ellis James/Craftsmans Choice	567	Quinlan Avenue N	Residential	Accessory	Re-Side		
LL16-21	5/3/16	Steve Trudeau/Fireside Hearth & Home	16032	2nd Street N	Residential	Mechanical	Mechanical	Gas insert and gasline	5/5/16
LL16-22	5/3/16	Jeff Neafus/Champion Plumbing	16221	4th Street N	Residential	Plumbing	Plumbing	Water Heater Replacement	
LL16-23		JTS Heating & Air	499	Quinlan Avenue S	Residential	Mechanical	Mechanical	Addition/Remodel Mechanical Furnace/AC/Kitchen Fan/ 4 bath fans/grill. GL's 1 grill, 2 dryer, 1 future fp	

7A

(Official Publication)  
CITY OF LAKELAND  
WASHINGTON COUNTY, MINNESOTA  
NOTICE OF PUBLIC HEARING

**NOTICE IS HEREBY GIVEN** that the City Council for the City of Lakeland, Washington County, Minnesota shall conduct a Public Hearing on May 17, 2016 at 6:00 p.m. at Lakeland City Hall located at 690 Quinnell Avenue North to consider a request regarding an application by Scott Johnson and Sandra Boe for a variance to the front yard setback to the roadway easement to reconstruct and expand the existing home at 1067 Quixote Avenue North. All persons wishing to be heard with reference to this request will be heard at the meeting. The real property affected by said application is legally described as PID 26.029.20.43.0040. Legal description available upon request.

Posted at city offices 4/26/2016, published in the Stillwater Gazette 4/29/2016 and mailed to all property owners within 500 feet of the subject property 4/27/2016.

Sandie Thone  
City Administrator/Clerk



1190 Saint Croix Trail South  
Lakeland, MN 55043  
Phone: (651) 436-4430  
E-mail: [city@ci.lakeland.mn.us](mailto:city@ci.lakeland.mn.us)  
Website: [www.ci.lakeland.mn.us](http://www.ci.lakeland.mn.us)

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April 27, 2016

Dear Property Owner (within 500 feet of requesting property):

The purpose of this letter is to advise you that the Lakeland City Council will hold a Public Hearing on May 17, 2016 at 6:00 p.m. at Lakeland City Hall located at 690 Quinnell Avenue North to consider a request regarding an application by Scott Johnson and Sandra Boe for a variance to the front yard setback to the roadway easement to reconstruct and expand the existing home at 1067 Quixote Avenue North. All persons wishing to be heard with reference to this request will be heard at the meeting. The real property affected by said application is legally described as PID 26.029.20.43.0040. Legal description available upon request.

Sincerely,

A handwritten signature in cursive script that reads "Sandie Thone".

Sandie Thone  
City Administrator/Clerk

**RESOLUTION NO. 2016-08**

**CITY OF LAKELAND  
WASHINGTON COUNTY, MINNESOTA**

**A RESOLUTION APPROVING A VARIANCE AND CONDITIONAL USE PERMIT (CUP) TO REMOVE PORTIONS OF THE EXISTING STRUCTURE AND CONSTRUCT AN ADDITION TO THE EXISTING HOME AT 1067 QUIXOTE AVENUE NORTH**

**WHEREAS**, the City of Lakeland is a municipal corporation organized and existing under the laws of the State of Minnesota; and

**WHEREAS**, the City Council of the City of Lakeland has adopted zoning, subdivision, and building regulations as part of the Lakeland Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and

**WHEREAS**, Scott Johnson and Sandra Boe along with their contractor Bruce Lenzen Design/Build, LLC (Applicants) have made an application to the City for a variance to the 40 foot setback from the existing roadway (155.016(A), a variance to the required minimum lot size above the ordinary high water mark of 1.0 acre (155.016 (A) (1)) and a Conditional Use Permit (CUP) for the alternate method of flood proofing proposed (154.27 (D) (1)); and

**WHEREAS**, the real property affected by said application is located at 1067 Quixote Avenue North, Lakeland, and MN and legally described as:

**Legal Description:**

THE NORTH 80.00 FEET OF THE SOUTH 398.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOTS 4 AND 5, BLOCK 1, RIVER CREST ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, WASHINGTON COUNTY, MINNESOTA, BEING A STRIP OF LAND 80.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOTS 4 AND 5, TO LAKE ST. CROIX. THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY. AND THE NORTH 60.00 FEET OF THE SOUTH 318.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOT 4, BLOCK 1, RIVER CREST ESTATES, BEING A STRIP OF LAND 60.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOT 4, TO LAKE ST. CROIX THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY. TOGETHER WITH THE RIGHT TO USE THE ROAD RIGHT-OF-WAY ALONG THE EASTERLY SIDE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY FROM THE NORTH LINE OF THE SOUTH 258.00 FEET OF SAID GOVERNMENT LOT 4 TO THE SOUTH LINE OF SAID GOVERNMENT LOT 4. SECTION 26 TOWNSHIP 029 RANGE 020.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Lakeland hereby approves the two variances and a Conditional Use Permit (CUP) listed below regarding the application for 1067 Quixote Avenue North. The approvals are based on the following findings of facts listed below, additional findings of council made on record, and are subject to the conditions listed below:

## Resolution 2016-08

Variances

1. Allow the lot size of approximately 0.75 acres, minimum lot size is 1.0 acres above the ordinary high water mark (155.016 (A) (1). Substandard lots are allowed that meet 60% of this requirement (155.041).
2. Allow the structure setback from the existing roadway easement at less than the minimum setback of 40 feet, as the existing structure is currently located within the setback. Note: The dimension will be altered if the pending easement vacation for the property is approved but will still require the variance to the setback.

Conditional Use Permit

1. Allow the alternate method of flood proofing as proposed. The current home is .04 tenths below required flood proofing elevation. Flood proofing methods shall meet all standards listed in section 154.27 (D) (1).

Findings of Fact

1. The applicant's proposal to reconstruct and expand on the property is reasonable based on the surrounding properties and the zoning designation. The zoning designation is residential and the variances being proposed are not extensive and result from improving the structure in the same location.
2. The proposed structure will not alter the essential character of the locality, and is compatible with uses on adjacent land because of the conformity with the neighboring structures both north and south of the property. Neighboring structures are single family homes of similar sizes and character that are also located on river front lots.
3. The color of all structures, including roofs, will be of earth tones.
4. The property has unique aspects including limitations related to location, the size of the lot, and the location of the existing structure. The lot was created prior to the city ordinances being enacted and there is no way to create a larger lot.
5. A Middle St. Croix Watershed Management (WMO) permit review has been performed with regard to the project with a focus on drainage and erosion control and the permit has been approved. The recommendations are included as conditions for approval.
6. The granted variances and CUP are in harmony with the general purposes and intent of the Zoning Code. The purpose of the Zoning Code is to protect and conserve natural resources as applied to the river bluff and the St. Croix River. The granted variances move to protect the bluff and river by keeping the house in the same location, not allowing further encroachment to the river, and requiring conditions such as a restoration plan and erosion control to protect runoff and screening.
7. The granted variances and CUP are consistent with goals in the Comprehensive Plan to preserve and protect the natural scenic values and resources of the St Croix River Valley. The goals are to redevelop Lakeland consistent with the aesthetics of the St Croix River valley and preserve and protect Lakeland's natural environment.

Resolution 2016-08

8. The proposed impervious surface percentage is 16.4%. The maximum impervious surface is 20%.
9. The MN DNR has reviewed the proposal and the recommendations have been incorporated into the conditions for approval.
10. The City Engineer has reviewed the proposal and the recommendations have been incorporated into the conditions of approval (Exhibit B).

#### Conditions of Approval

1. The applicant shall pay any remaining fees or escrow balance prior to the variance and the Conditional Use Permit (CUP) being certified and before a building permit issued.
2. The project shall comply with the conditions of the MSCWMO permit approval (Exhibit A).
3. The project shall comply with Department of Natural Resources (DNR) recommendations;
4. The property shall comply with Lakeland City Code requirements of the St. Croix River District Bluff Requirements (Ch. 155) and St. Croix River Floodplain Requirements (Ch. 155).
5. The property shall comply with Lakeland City Code requirements for the Flood Fringe District (154.27).
6. The bluffline has been shown on the plan and certified by a Registered Land Surveyor pursuant to Lakeland City Code Bluffland and Shoreland Regulations.
7. All worked planned remains above the 682.5 elevation pursuant to floodplain regulations.
8. The Conditional Use Permit (CUP) required for the alternate flood proofing method shall meet all standards listed in section 154.27 (D) (1) of the Lakeland City Code which includes certification by a Professional Engineer or Architect and must meet all FEMA requirements such as those listed in FEMA TB 1.
9. All construction materials used below the first floor system must be flood resistance in accordance with the FP-3 and FP-4 classifications of the state building code.

Resolution 2016-08

10. Impervious surface totals 16.4%. Maximum allowed is 20%.
11. Temporary erosion control measures such as silt fence are called for in the plans.
12. Runoff from the gutters is to be collected in gutters and discharged to the proposed bioinfiltration basin.
13. The applicant must submit a Certificate of Compliance for the existing septic system or a copy of the septic permit from Washington County.
14. The applicant must submit the existing well and water service locations as well as the proposed service line to the plans.
15. The site plan indicates that the bottom of the "Floor System" elevation is 693.1 which complies with City Code 154.06 requirement of 1-foot above the regional flood elevation of 692. The MSCWMO standard is 2-feet above the regulatory flood elevation. The structure height may not exceed the 35 feet pursuant to Lakeland City Code.
16. The failure to fulfill any one of the conditions will result in revocation of all variances and the Conditional Use Permit (CUP).

Passed and adopted by the City Council for the City of Lakeland this 17th day of  
May, 2016.

\_\_\_\_\_  
Amy Williams, Mayor

ATTEST

\_\_\_\_\_  
Sandie Thone, City Administrator/Clerk

7B

**CITY OF LAKELAND  
WASHINGTON COUNTY, MINNESOTA  
(Official Publication)**

**NOTICE OF PUBLIC HEARING  
VACATION OF EASEMENT LOCATED ON PROPERTY  
AT 1067 QUIXOTE AVENUE NORTH  
PURSUANT TO MINNESOTA STATUTE §412.851**

**NOTICE IS HEREBY GIVEN** that a hearing will be held before the City Council on the 17th day of May 2016, at Lakeland City Hall located at 690 Quinnell Avenue North at 6 p.m. to consider a proposed vacation of a utility/roadway easement located on property at 1067 Quixote Avenue North legally described as:

PID #: 26.029.20.43.0040 (Complete legal description can be viewed at City Clerk's Office). All persons wishing to be heard with reference to this action will be heard at this meeting.

Sandie Thone  
City Administrator/Clerk

Posted at City Offices on April 21, 2016 and published in the Stillwater Gazette on April 29, 2016.

**NOTICE OF PUBLIC HEARING ON VACATION OF AN EASEMENT LOCATED ON  
THE PROPERTY OF 1067 QUIXOTE AVE NO PURSUANT TO MINNESOTA  
STATUTE §412.851**

**CITY OF LAKELAND  
WASHINGTON COUNTY, MINNESOTA**

**NOTICE IS HEREBY GIVEN** that a hearing will be held before the City Council on the 17th day of May, 2016, in the City Hall located at 690 Quinnell Ave No at 6 pm to consider a proposed vacation of a utility/roadway easement located at the property of 1067 Quixote Ave No legally described as:

THE NORTH 80.00 FEET OF THE SOUTH 398.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOTS 4 AND 5, BLOCK 1, RIVER CREST ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, WASHINGTON COUNTY, MINNESOTA, BEING A STRIP OF LAND 80.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOTS 4 AND 5, TO LAKE ST. CROIX. THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY.

SUBJECT TO AN EASEMENT FOR ROADWAY AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE EASTERLY 33.00 FEET OF THE WESTERLY 83.00 FEET OF THE ABOVE DESCRIBED PARCEL AS MEASURED RADIALLY FROM THE WESTERLY LINE OF SAID ABOVE DESCRIBED PARCEL

AND THE NORTH 60.00 FEET OF THE SOUTH 318.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOT 4, BLOCK 1, RIVER CREST ESTATES, BEING A STRIP OF LAND 60.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOT 4, TO LAKE ST. CROIX THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY.

SUBJECT TO AN EASEMENT FOR ROADWAY AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE EASTERLY 33.00 FEET OF THE WESTERLY 83.00 FEET OF THE ABOVE DESCRIBED PARCEL AS MEASURED RADIALLY FROM THE WESTERLY LINE OF SAID ABOVE DESCRIBED PARCEL

TOGETHER WITH THE RIGHT TO USE THE ROAD RIGHT-OF-WAY ALONG THE EASTERLY SIDE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY FROM THE NORTH LINE OF THE SOUTH 258.00 FEET OF SAID GOVERNMENT LOT 4 TO THE SOUTH LINE OF SAID GOVERNMENT LOT 4. SECTION 26 TOWNSHIP 029 RANGE 020

Dated this 26th day of April 2016.

SIGNED BY:

\_\_\_\_\_  
Sandie Thone, City Administrator/Clerk

**RESOLUTION NO. 2016-07**

**CITY OF LAKELAND  
WASHINGTON COUNTY, MINNESOTA**

**A RESOLUTION VACATING AN EASEMENT ON THE PROPERTY OF 1067  
QUIXOTE AVE NO**

**THE CITY COUNCIL OF THE CITY OF LAKELAND, MINNESOTA DOES HEREBY  
RESOLVE AS FOLLOWS:**

**WHEREAS**, the City Council previously passed Resolution No. 2016-06 noting its interest in vacating pursuant to Minnesota Statute §412.851 a utility/roadway easement on the property of 1067 Quixote Ave No legally described as:

THE NORTH 80.00 FEET OF THE SOUTH 398.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOTS 4 AND 5, BLOCK 1, RIVER CREST ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, WASHINGTON COUNTY, MINNESOTA, BEING A STRIP OF LAND 80.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOTS 4 AND 5, TO LAKE ST. CROIX. THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY.

SUBJECT TO AN EASEMENT FOR ROADWAY AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE EASTERLY 33.00 FEET OF THE WESTERLY 83.00 FEET OF THE ABOVE DESCRIBED PARCEL AS MEASURED RADially FROM THE WESTERLY LINE OF SAID ABOVE DESCRIBED PARCEL

AND THE NORTH 60.00 FEET OF THE SOUTH 318.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOT 4, BLOCK 1, RIVER CREST ESTATES, BEING A STRIP OF LAND 60.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOT 4, TO LAKE ST. CROIX THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY.

SUBJECT TO AN EASEMENT FOR ROADWAY AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE EASTERLY 33.00 FEET OF THE WESTERLY 83.00 FEET OF THE ABOVE DESCRIBED PARCEL AS MEASURED RADially FROM THE WESTERLY LINE OF SAID ABOVE DESCRIBED PARCEL

TOGETHER WITH THE RIGHT TO USE THE ROAD RIGHT-OF-WAY ALONG THE EASTERLY SIDE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY FROM THE NORTH LINE OF THE SOUTH 258.00 FEET OF SAID GOVERNMENT LOT 4 TO THE SOUTH LINE OF SAID GOVERNMENT LOT 4. SECTION 26 TOWNSHIP 029 RANGE 020

and setting a public hearing to consider the vacation of such easement; and

**WHEREAS**, a public hearing to consider the vacation of such street was held on the 17<sup>th</sup> day of May, 2016, before the City Council in the City Hall located at 690 Quinnell Ave No at 6 pm after due published and posted notice had been given, as well as personal mailed notice to all affected property owners by the City Clerk on the 26<sup>th</sup> day of April 2016 and all interested and affected persons were given an opportunity to voice their concerns and be heard; and

**WHEREAS**, any person, corporation or public body owning or controlling easements contained upon the property vacated, reserves the right to continue maintaining the same or to enter upon such way or portion thereof vacated to maintain, repair, replace or otherwise attend thereto; and

**WHEREAS**, the Council in its discretion has determined that the vacation will benefit the public interest because a portion of the easement does not contain the actual road and utilities for which the easement was created; and

**WHEREAS**, the council in its discretion has determined that the vacation will benefit the public interest because the easement is being relocated to encompass the roadway and utilities that were originally intended to be maintained with the current easement; and

**WHEREAS**, four-fifths of all members of the City Council concur in this resolution;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF LAKELAND, COUNTY OF WASHINGTON MINNESOTA**, that such petition for vacation is hereby granted and the easement located on the property at 1067 Quixote described as follows is hereby vacated:

THE NORTH 80.00 FEET OF THE SOUTH 398.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOTS 4 AND 5, BLOCK 1, RIVER CREST ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, WASHINGTON COUNTY, MINNESOTA, BEING A STRIP OF LAND 80.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOTS 4 AND 5, TO LAKE ST. CROIX. THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY.

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AND THE NORTH 60.00 FEET OF THE SOUTH 318.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOT 4, BLOCK 1, RIVER CREST ESTATES, BEING A STRIP OF LAND 60.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOT 4, TO LAKE ST. CROIX THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY.

SUBJECT TO AN EASEMENT FOR ROADWAY AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE EASTERLY 33.00 FEET OF THE WESTERLY 83.00 FEET OF THE ABOVE DESCRIBED PARCEL AS MEASURED RADIALLY FROM THE WESTERLY LINE OF SAID ABOVE DESCRIBED PARCEL

TOGETHER WITH THE RIGHT TO USE THE ROAD RIGHT-OF-WAY ALONG THE EASTERLY SIDE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY FROM THE NORTH LINE OF THE SOUTH 258.00 FEET OF SAID GOVERNMENT LOT 4 TO THE SOUTH LINE OF SAID GOVERNMENT LOT 4. SECTION 26 TOWNSHIP 029 RANGE 020

**BE IT FURTHER RESOLVED**, that the Mayor and City Clerk are hereby authorized to sign all documents necessary to effectuate the intent of this resolution.

Adopted by the Council this 17<sup>th</sup> day of May 2016.

EFFECTIVE DATE: May 17<sup>th</sup>, 2016

Approved:

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Amy Williams, Mayor

Attested by:

---

Sandie Thone, City Administrator/Clerk

8A



TO: Mayor and City Council  
FROM: Sandie Thone, City Administrator/Clerk  
RE: Resolution 2016-08 Variance to Lot Size and Setback Requirements to Reconstruct and Expand a Single Family Home and Conditional Use Permit (CUP) for an Alternate Method of Flood Proofing at 1067 Quixote Avenue North  
DATE: May 17, 2016

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### Background

The City Zoning Administrator received a variance application from Scott Johnson and Sandra Boe along with their contractor Bruce Lenzen Design/Build, LLC. The application includes two variance requests for a variance to the 40 foot setback from the existing roadway (155.016(A), a variance to the required minimum lot size above the ordinary high water mark of 1.0 acre (155.016 (A) (1)) and a Conditional Use Permit (CUP) for the alternate method of flood proofing proposed (154.27 (D) (1)). A Public Hearing was appropriately published and noticed to all property owners within 500 feet of the proposed project. All persons wishing to be heard may attend the Public hearing set for May 17, 2016 at 6 p.m. at Lakeland City Hall or provide written comments beforehand.

### Discussion

The application has been reviewed by the City's Zoning Administrator, City Engineer (Exhibit B), MSCWMO Board (Exhibit A) and the DNR. The following conditions for approval are inclusive of their conditions and recommendations.

### Variances

1. Allow the lot size of approximately 0.75 acres, minimum lot size is 1.0 acres above the ordinary high water mark (155.016 (A) (1). Substandard lots are allowed that meet 60% of this requirement (155.041).
2. Allow the structure setback from the existing roadway easement at less than the minimum setback of 40 feet, as the existing structure is currently located within the setback. Note: The dimension will be altered if the pending easement vacation for the property is approved but will still require the variance to the setback.

### Conditional Use Permit

1. Allow the alternate method of flood proofing as proposed. The current home is .04 tenths below required flood proofing elevation. Flood proofing methods shall meet all standards listed in section 154.27 (D) (1).

In addition, the variances are in harmony with the general purposes of the intent of City Code Section 159.002 and all other applicable ordinances as described within the resolution.

The applicant is requesting the council consider the above variances and Conditional Use permit (CUP) based on the following findings of fact and subject to the conditions listed below:

#### Findings of Fact

1. The applicant's proposal to reconstruct and expand on the property is reasonable based on the surrounding properties and the zoning designation. The zoning designation is residential and the variances being proposed are not extensive and result from improving the structure in the same location.
2. The proposed structure will not alter the essential character of the locality, and is compatible with uses on adjacent land because of the conformity with the neighboring structures both north and south of the property. Neighboring structures are single family homes of similar sizes and character that are also located on river front lots.
3. The color of all structures, including roofs, will be of earth tones.
4. The property has unique aspects including limitations related to location, the size of the lot, and the location of the existing structure. The lot was created prior to the city ordinances being enacted and there is no way to create a larger lot.
5. A Middle St. Croix Watershed Management (WMO) permit review has been performed with regard to the project with a focus on drainage and erosion control and the permit has been approved. The recommendations are included as conditions for approval.
6. The granted variances and CUP are in harmony with the general purposes and intent of the Zoning Code. The purpose of the Zoning Code is to protect and conserve natural resources as applied to the river bluff and the St. Croix River. The granted variances move to protect the bluff and river by keeping the house in the same location, not allowing further encroachment to the river, and requiring conditions such as a restoration plan and erosion control to protect runoff and screening.
7. The granted variances and CUP are consistent with goals in the Comprehensive Plan to preserve and protect the natural scenic values and resources of the St Croix River Valley. The goals are to redevelop Lakeland consistent with the aesthetics of the St Croix River valley and preserve and protect Lakeland's natural environment.
8. The proposed impervious surface percentage is 16.4%. The maximum impervious surface is 20%.
9. The MN DNR has reviewed the proposal and the recommendations have been incorporated into the conditions for approval.
10. The City Engineer has reviewed the proposal and the recommendations have been incorporated into the conditions of approval (Exhibit B).

#### Conditions of Approval

1. The applicant shall pay any remaining fees or escrow balance prior to the variance and the Conditional Use Permit (CUP) being certified and before a building permit issued.

2. The project shall comply with the conditions of the MSCWMO permit approval (Exhibit A).
3. The project shall comply with Department of Natural Resources (DNR) recommendations;
4. The property shall comply with Lakeland City Code requirements of the St. Croix River District Bluff Requirements (Ch. 155) and St. Croix River Floodplain Requirements (Ch. 155).
5. The property shall comply with Lakeland City Code requirements for the Flood Fringe District (154.27).
6. The bluffline has been shown on the plan and certified by a Registered Land Surveyor pursuant to Lakeland City Code Bluffland and Shoreland Regulations.
7. All worked planned remains above the 682.5 elevation pursuant to floodplain regulations.
8. The Conditional Use Permit (CUP) required for the alternate flood proofing method shall meet all standards listed in section 154.27 (D) (1) of the Lakeland City Code which includes certification by a Professional Engineer or Architect and must meet all FEMA requirements such as those listed in FEMA TB 1.
9. All construction materials used below the first floor system must be flood resistance in accordance with the FP-3 and FP-4 classifications of the state building code.
10. Impervious surface totals 16.4%. Maximum allowed is 20%.
11. Temporary erosion control measures such as silt fence are called for in the plans.
12. Runoff from the gutters is to be collected in gutters and discharged to the proposed bioinfiltration basin.
13. The applicant must submit a Certificate of Compliance for the existing septic system or a copy of the septic permit from Washington County.
14. The applicant must submit the existing well and water service locations as well as the proposed service line to the plans.
15. The site plan indicates that the bottom of the "Floor System" elevation is 693.1 which complies with City Code 154.06 requirement of 1-foot above the regional flood elevation

of 692. The MSCWMO standard is 2-feet above the regulatory flood elevation. The structure height may not exceed the 35 feet pursuant to Lakeland City Code.

16. The failure to fulfill any one of the conditions will result in revocation of all variances and the Conditional Use Permit (CUP).

### Recommendation

Staff is requesting the city council approve the following variances and CUP for 1067 Quixote Avenue North with the above conditions of approval and all referenced exhibits:

### Variances

3. Allow the lot size of approximately 0.75 acres, minimum lot size is 1.0 acres above the ordinary high water mark (155.016 (A) (1)). Substandard lots are allowed that meet 60% of this requirement (155.041).
4. Allow the structure setback from the existing roadway easement at less than the minimum setback of 40 feet, as the existing structure is currently located within the setback. Note: The dimension will be altered if the pending easement vacation for the property is approved but will still require the variance to the setback.

### Conditional Use Permit

2. Allow the alternate method of flood proofing as proposed. The current home is .04 tenths below required flood proofing elevation. Flood proofing methods shall meet all standards listed in section 154.27 (D) (1).

Motion/Second/Majority Vote required.

**RESOLUTION NO. 2016-08**

**CITY OF LAKELAND  
WASHINGTON COUNTY, MINNESOTA**

**A RESOLUTION APPROVING A VARIANCE AND CONDITIONAL USE PERMIT  
(CUP) TO REMOVE PORTIONS OF THE EXISTING STRUCTURE AND CONSTRUCT  
AN ADDITION TO THE EXISTING HOME AT 1067 QUIXOTE AVENUE NORTH**

**WHEREAS,** the City of Lakeland is a municipal corporation organized and existing under the laws of the State of Minnesota; and

**WHEREAS,** the City Council of the City of Lakeland has adopted zoning, subdivision, and building regulations as part of the Lakeland Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and

**WHEREAS,** Scott Johnson and Sandra Boe along with their contractor Bruce Lenzen Design/Build, LLC (Applicants) have made an application to the City for a variance to the 40 foot setback from the existing roadway (155.016(A), a variance to the required minimum lot size above the ordinary high water mark of 1.0 acre (155.016 (A) (1)) and a Conditional Use Permit (CUP) for the alternate method of flood proofing proposed (154.27 (D) (1)); and

**WHEREAS,** the real property affected by said application is located at 1067 Quixote Avenue North, Lakeland, and MN and legally described as:

**Legal Description:**

THE NORTH 80.00 FEET OF THE SOUTH 398.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOTS 4 AND 5, BLOCK 1, RIVER CREST ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, WASHINGTON COUNTY, MINNESOTA, BEING A STRIP OF LAND 80.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOTS 4 AND 5, TO LAKE ST. CROIX. THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY. AND THE NORTH 60.00 FEET OF THE SOUTH 318.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOT 4, BLOCK 1, RIVER CREST ESTATES, BEING A STRIP OF LAND 60.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOT 4, TO LAKE ST. CROIX THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY. TOGETHER WITH THE RIGHT TO USE THE ROAD RIGHT-OF-WAY ALONG THE EASTERLY SIDE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY FROM THE NORTH LINE OF THE SOUTH 258.00 FEET OF SAID GOVERNMENT LOT 4 TO THE SOUTH LINE OF SAID GOVERNMENT LOT 4. SECTION 26 TOWNSHIP 029 RANGE 020.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Lakeland hereby approves the two variances and a Conditional Use Permit (CUP) listed below regarding the application for 1067 Quixote Avenue North. The approvals are based on the following findings of facts listed below, additional findings of council made on record, and are subject to the conditions listed below:

### Variances

1. Allow the lot size of approximately 0.75 acres, minimum lot size is 1.0 acres above the ordinary high water mark (155.016 (A) (1). Substandard lots are allowed that meet 60% of this requirement (155.041).
2. Allow the structure setback from the existing roadway easement at less than the minimum setback of 40 feet, as the existing structure is currently located within the setback. Note: The dimension will be altered if the pending easement vacation for the property is approved but will still require the variance to the setback.

### Conditional Use Permit

1. Allow the alternate method of flood proofing as proposed. The current home is .04 tenths below required flood proofing elevation. Flood proofing methods shall meet all standards listed in section 154.27 (D) (1).

### Findings of Fact

1. The applicant's proposal to reconstruct and expand on the property is reasonable based on the surrounding properties and the zoning designation. The zoning designation is residential and the variances being proposed are not extensive and result from improving the structure in the same location.
2. The proposed structure will not alter the essential character of the locality, and is compatible with uses on adjacent land because of the conformity with the neighboring structures both north and south of the property. Neighboring structures are single family homes of similar sizes and character that are also located on river front lots.
3. The color of all structures, including roofs, will be of earth tones.
4. The property has unique aspects including limitations related to location, the size of the lot, and the location of the existing structure. The lot was created prior to the city ordinances being enacted and there is no way to create a larger lot.
5. A Middle St. Croix Watershed Management (WMO) permit review has been performed with regard to the project with a focus on drainage and erosion control and the permit has been approved. The recommendations are included as conditions for approval.
6. The granted variances and CUP are in harmony with the general purposes and intent of the Zoning Code. The purpose of the Zoning Code is to protect and conserve natural resources as applied to the river bluff and the St. Croix River. The granted variances move to protect the bluff and river by keeping the house in the same location, not allowing further encroachment to the river, and requiring conditions such as a restoration plan and erosion control to protect runoff and screening.
7. The granted variances and CUP are consistent with goals in the Comprehensive Plan to preserve and protect the natural scenic values and resources of the St Croix River Valley. The goals are to redevelop Lakeland consistent with the aesthetics of the St Croix River valley and preserve and protect Lakeland's natural environment.

8. The proposed impervious surface percentage is 16.4%. The maximum impervious surface is 20%.
9. The MN DNR has reviewed the proposal and the recommendations have been incorporated into the conditions for approval.
10. The City Engineer has reviewed the proposal and the recommendations have been incorporated into the conditions of approval (Exhibit B).

#### Conditions of Approval

1. The applicant shall pay any remaining fees or escrow balance prior to the variance and the Conditional Use Permit (CUP) being certified and before a building permit issued.
2. The project shall comply with the conditions of the MSCWMO permit approval (Exhibit A).
3. The project shall comply with Department of Natural Resources (DNR) recommendations;
4. The property shall comply with Lakeland City Code requirements of the St. Croix River District Bluff Requirements (Ch. 155) and St. Croix River Floodplain Requirements (Ch. 155).
5. The property shall comply with Lakeland City Code requirements for the Flood Fringe District (154.27).
6. The bluffline has been shown on the plan and certified by a Registered Land Surveyor pursuant to Lakeland City Code Bluffland and Shoreland Regulations.
7. All worked planned remains above the 682.5 elevation pursuant to floodplain regulations.
8. The Conditional Use Permit (CUP) required for the alternate flood proofing method shall meet all standards listed in section 154.27 (D) (1) of the Lakeland City Code which includes certification by a Professional Engineer or Architect and must meet all FEMA requirements such as those listed in FEMA TB 1.
9. All construction materials used below the first floor system must be flood resistance in accordance with the FP-3 and FP-4 classifications of the state building code.

10. Impervious surface totals 16.4%. Maximum allowed is 20%.
11. Temporary erosion control measures such as silt fence are called for in the plans.
12. Runoff from the gutters is to be collected in gutters and discharged to the proposed bioinfiltration basin.
13. The applicant must submit a Certificate of Compliance for the existing septic system or a copy of the septic permit from Washington County.
14. The applicant must submit the existing well and water service locations as well as the proposed service line to the plans.
15. The site plan indicates that the bottom of the "Floor System" elevation is 693.1 which complies with City Code 154.06 requirement of 1-foot above the regional flood elevation of 692. The MSCWMO standard is 2-feet above the regulatory flood elevation. The structure height may not exceed the 35 feet pursuant to Lakeland City Code.
16. The failure to fulfill any one of the conditions will result in revocation of all variances and the Conditional Use Permit (CUP).

Passed and adopted by the City Council for the City of Lakeland this 17th day of May, 2016.

\_\_\_\_\_  
Amy Williams, Mayor

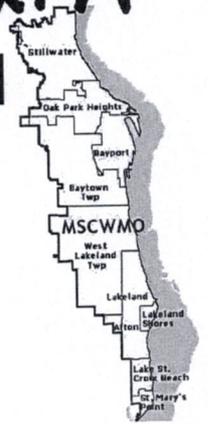
ATTEST

\_\_\_\_\_  
Sandie Thone, City Administrator/Clerk

Ex. A

**MIDDLE ST. CROIX WATERSHED MANAGEMENT ORGANIZATION**

455 HAYWARD AVENUE, OAKDALE, MINNESOTA 55128  
Phone 651.330.8220 x22 fax 651.330.7747 www.mscwmo.org



May 5, 2016

Sandie Thone  
690 Quinnell Ave. N  
Lakeland, MN 55043-0643

RE: 1067 Quixote Ave Reconstruction and Addition

Dear Ms. Thone:

The Middle St. Croix Watershed Management Organization (MSCWMO) received the required submittal items on April 20, 2016 for the proposed Sandra Boe and Scott Johnson Reconstruction and Addition, located at 1067 Quixote Avenue N. within MSCWMO boundaries and in the City of Lakeland. The proposed project qualifies for full review under the MSCWMO 2015 Watershed Management Plan (WMP).

The project, as submitted, contains sufficient information to determine conformance with the Policies and Performance Standards contained within Section 7.0 of the MSCWMO Watershed Management Plan

The MSCWMO recommends approval of the project with the following eight conditions:

1. Raise the lowest floor elevation of structure two feet above the 100-year flood elevation.
2. Identify the location, size and vegetative characterizes of the buffer upslope of Lake St. Croix.
3. Add estimated types and quantities of temporary erosion control, permanent erosion control and sediment control practices.
4. Add required contact information for person responsible for construction site erosion and sediment control.
5. Identify soiling tilling and soil bed preparation prior to installation of final vegetation
6. Identity timing of installation of final stabilization.
7. Add infiltration basin construction standards.
8. Add requires infiltration basin detail and amendments information.

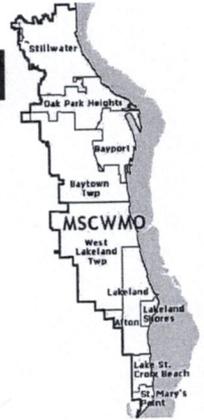
His recommended approval is based on the technical review of the MSCWMO performance standards and does not constitute approval by the City of Lakeland. The enclosed checklist contains detailed information on project review qualifications and the policies and performance standards of the WMP. MSCWMO review process information can be downloaded from [www.mscwmo.org](http://www.mscwmo.org). Please contact me at 651-330-8220 x22 or [misensee@mnwcd.org](mailto:misensee@mnwcd.org) if you have any questions.

Sincerely,

Mikael Isensee  
MSCWMO Administrator  
[misensee@mnwcd.org](mailto:misensee@mnwcd.org)

# MIDDLE ST. CROIX WATERSHED MANAGEMENT ORGANIZATION

455 Hayward Avenue, Oakdale, MN 55128  
Phone 651.330.8220 x22 fax 651.330.7747 www.mscwmo.org



## MSCWMO PROJECT REVIEW

**MSCWMO Project Review ID:** 16-009

**Project Name:** 1067 Quixote Reconstruction and Addition

**Applicant:** Scott Johnson and Sandra Boe

**Purpose:** Reconstruction and Addition of Existing Home

**Location:** 1067 Quixote Avenue, Lakeland

**Review date:** May 5, 2016

**Recommendation:** Approval with 8 Conditions.

Conditions:

1. Raise the lowest floor elevation of structure two feet above the 100-year flood elevation.
2. Identify the location, size and vegetative characterizes of the buffer upslope of Lake St. Croix.
3. Add estimated types and quantities of temporary erosion control, permanent erosion control and sediment control practices.
4. Add required contact information for person responsible for construction site erosion and sediment control.
5. Identify soiling tilling and soil bed preparation prior to installation of final vegetation
6. Identity timing of installation of final stabilization.
7. Add infiltration basin construction standards.
8. Add requires infiltration basin detail and amendments information.

### **Applicability:**

- Any project undertaking grading, filling, or other land alteration activities that involve movement of 100 cubic yards of earth or removal of vegetation on greater than 10,000 square feet of land
- Any project that creates or fully reconstructs 6,000 square feet or more of impervious surface
- All major subdivisions or minor subdivisions that are part of a common plan of development. Major subdivisions are defined as subdivisions with 4 or more lots.

- Any project with wetland impacts
- Any project with grading within public waters
- Any project with grading within buffers
- Any project with grading within 40-feet of the bluff line
- Development projects that impact 2 or more of the member communities
- New or redevelopment projects within the St. Croix Riverway that require a building permit that adds five hundred (500) square feet or more of additional impervious surface
- Any project requiring a variance from the current local impervious surface zoning requirements for the property
- Any land development activity, regardless of size, that the City determines is likely to cause an adverse impact to an environmentally sensitive area or other property, or may violate any other erosion and sediment control standard set by the member community.

**Required Submittals:**

- 1. Review Fee: Single lot residential \$350 fee.
- 2. Grading plan showing grading limits, existing and proposed contours related to NAVD 1988 datum (preferred) or NGVD 1929.
- 3. Location of existing and proposed permanent structures.
- 4. Ordinary High Water (OHW) elevations and location of all existing water bodies.
- 5. Location of all bluff lines.
- 6. Lowest floor elevations of structures built adjacent to stormwater management features and other water bodies must be a minimum of two feet above the 100-year flood elevation.
- 7. Delineation of existing wetland, shoreland, ordinary high water levels, drain tiling, and floodplain areas.
- 8. Details of proposed buffer upslope of water resources including size and vegetation characteristics (when applicable).

9. Erosion/sediment control plan demonstrating locations, specifications, and details of the following items: **Underline items are not addressed in the submitted plans.**

A. Erosion Prevention

- i. Stabilize all exposed soil areas (including stockpiles) with temporary erosion control (seed and mulch or blanket) within 7 days after construction activities in the area have temporarily or permanently ceased.
- ii. Identify location, type and quantity of temporary erosion prevention practices.
- iii. Identify permanent vegetation.

B. Sediment Control

- i. Sediment control practices will be placed down-gradient before up-gradient land disturbing activities begin.
- ii. Identify the location, type and quantity of sediment control practices.
- iii. Vehicle tracking practices must be in place to minimize track out of sediment from the construction site. Streets must be cleaned if tracking practices are not adequate to prevent sediment from being tracked onto the street.

C. Inspections and Maintenance

- i. Applicant must inspect all erosion prevention and sediment control practices once every 7 days or after a ½" rain event to ensure integrity and effectiveness. All nonfunctional practices must be repaired, replaced or enhanced the next business day after discovery.
- ii. Plans shall include contact information including email and a phone number of the person responsible for inspection and compliance with erosion and sediment control.

D. Pollution Prevention

- i. Solid waste must be stored, collected and disposed of in accordance with state law.
- ii. Provide effective containment for all liquid and solid wastes generated by washout operations (concrete, stucco, paint, form release oils, curing compounds).
- iii. Hazardous materials that have potential to leach pollutants must be under cover to minimize contact with stormwater.

E. Final Stabilization

- i. For residential construction only, individual lots are considered final stabilized if the structures are finished and temporary erosion protection and downgradient sediment control has been completed.

- ii. Grading and landscape plans shall include soil tillage and soil bed preparation methods that are employed prior to landscape installation to a minimum depth of 8" and incorporate amendments to meet Minnesota State Stormwater Manual predevelopment soil type bulk densities.
  - 1. Observe minimum setbacks for areas within the dripline of existing trees, over utilities within 30 in of the surface, where compaction is required by design and inaccessible slopes.

10. Details of proposed structural stormwater practices (Meets Minnesota Stormwater Manual guidelines) **Underline items are not addressed in the submitted plans.**

- A. Stormwater flows are diverted away from bluffs whenever feasible.
- B. Volume control facilities must drain down within 48 hours, as required by the MPCA NPDES Construction Stormwater Permit.
  - i. The period of inundation shall be calculated using the maximum water depth below the surface discharge elevation and the soil infiltration rate.
- C. The maximum water depth for volume control facilities is 1.5 feet.
- D. Planting plan identified vegetation suitable for the hydrology of the basin.
- E. Separation from seasonally saturated soils or bedrock is 3 feet or more for bioretention and infiltration practices.
- F. Volume control facilities meet the following setback requirements:

<b>Setback</b>	<b>Minimum Distance (ft)</b>
<i>Property line</i>	10
<i>Building foundation*</i>	10
<i>Private well</i>	50
<i>Public water supply well</i>	50
<i>Septic system tank/leach field</i>	35
<i>*Minimum with slopes directed away from the building</i>	

- G. Volume control is provided for the first 1.1" inch of runoff for all impervious:

Volume Retention Required (cu. ft.)	Volume Retention Provided (cu. ft.)
5,388 sf * 1.1" = 494 cf 494 cf total required	<b>BMP #1 Volume = 500</b>  <b>Total = 500</b>

H. Construction Standards

- i. To prevent soil compaction, the proposed volume control facility must be staked off and marked during construction to prevent heavy equipment and traffic from traveling over it.
- ii. Facilities may not be excavated within 2.0 feet of final grade until the contributing drainage area has been constructed and fully stabilized.

- iii. Facilities are in-place during construction activities, all sediment and runoff must be diverted away the facility, using practices such as pipe capping or diversions.
- iv. Facilities installation must occur in dry soil conditions. Excavation, soil placement and rapid stabilization of perimeter slopes must be accomplished prior to the next precipitation event.
- v. Excavation shall be performed by an excavator with a toothed bucket. Use excavator bucket to place materials. Construction equipment shall not be allowed into the basin.
- vi. Prior to the release of any remaining fee or security, the owner must provide documentation that constructed volume control facilities perform as designed.

I. Details

- i. Include a standard cross section of the infiltration device similar to those identified in the Minnesota Stormwater Manual [http://stormwater.pca.state.mn.us/index.php/Bioretenction plan and section drawings](http://stormwater.pca.state.mn.us/index.php/Bioretenction_plan_and_section_drawings)
- ii. The cross section must detail the infiltration media used in the device. Typically, devices use Mix B as described in the Minnesota Stormwater Manual: A well-blended, homogenous mixture of 70 to 85 percent washed construction sand; and 15 to 30 percent MnDOT Grade 2 compost .



Building a Better World  
for All of Us®

**MEMORANDUM**

TO: Sandie Thone, Clerk/Administrator

FROM: John D. Parotti, PE | City Engineer

DATE: May 3, 2016

RE: 1067 Quixote Avenue North - Johnson/Boe Variance and Conditional Use Permit Requests  
SEH No. LSKEL 104614 14.00

At your request we have completed a review of the above project as it relates to engineering issues. The following documents were provided for our review:

- A. Drawings prepared by Sonnentag Consulting, LLC entitled and dated as follows:
  - TITLE SHEET, last revised 04/21/2016
  - EXISTING CONDITIONS, last revised 03/07/2016
  - SITE PLAN, last revised 04/21/2016
  - EROSION CONTROL DETAILS, last revised 04/21/2016
- B. Letter from Bruce Lenzen Design, dated 04/21/2016
- C. Architectural plans prepared by Bruce Lenzen Design/Build, LLC dated 03/03/2016

**UNDERSTANDING**

The project proposes to remove portions of the existing home structure. The Bruce Lenzen letter states that the plan is to use as much of the existing lower level walls and foundation as possible. Middle St. Croix Watershed Management Organization (MSCWMO) and Minnesota Department of Natural Resources (DNR) reviews are also required for this project.

**CONDITIONS SUMMARY**

Based on our review of the information submitted, we offer the following for consideration:

1. The subject property is in the St. Croix Riverway and the Floodplain of the St. Croix River. Therefore, the City's Floodplain Regulations (Ch. 154) and Bluffland and Shoreland Regulations (Ch. 155) apply.
2. The subject property is in the Flood Fringe District (154.27).
3. The existing lot area is approximately 0.75 acres according to the Existing Conditions Plan. City Code (155.016 (A) 1) requires that lots be a minimum of 1.0 acres above the ordinary high water mark. Substandard Lots are allowed which meet 60% of this requirement. (155.041)
4. Runoff from the site flows from west to east. The entire property slopes east and all runoff flows directly to the St. Croix River.
5. The proposed improvements include a home addition on the north side of the existing structure, remodeling of the existing structure installing a new deck on the east side of the home, paving the

existing driveway with asphalt and installation of a bioretention basin. The MSCWMO reviews rain garden design and other drainage and erosion control measures. Therefore, to avoid duplication of effort, the City Engineer has not been reviewing storm water treatment designs that also qualify for MSCWMO review.

6. There are slopes in excess of 12% just east of the concrete blocks near the shore and also at the rear of the property. The point at which the slope preceding away from the river becomes less than 12% is where bluffline(s) is located. The City's Bluffland and Shoreland Regulations require the bluffline(s) to be shown on the plan and that the bluffline location(s) be certified by a Registered Land Surveyor or the Zoning Administrator. The plan as currently submitted is not signed by a Registered Land Surveyor and therefore does not meet this requirement.
7. The project is located in the floodplain but all work is planned above the elevation 682.5. Therefore US Army Corps of Engineers review is not required.
8. The project requires a Conditional Use Permit because an alternate method of floodproofing is being proposed. (154.27 (D) (1)) Flood proofing methods shall meet all standards listed in this section which includes certification by a Professional Engineer or Architect. Floodproofing must also meet FEMA requirements such as those listed in FEMA TB 1. The applicant, Architect, and Contractor should obtain and review these documents and become familiar with them as it is not the intent of this review to list all applicable requirements.
9. All construction materials used below the first floor system must be flood resistant in accordance with the FP-3 and FP-4 classifications of the State Building Code and the enclosed areas is to be used solely for building access, parking of vehicles or storage.
10. The existing site impervious surface noted on the site plan totals 4,533 sf (13.8%). The proposed impervious surface noted on the site plan totals 5,388 sf (16.4%). The maximum impervious surface allowed is 20%.
11. Temporary erosion control measures such as silt fence are called for in the plans submitted.
12. Runoff from the roof is to be collected in gutters and discharged to the proposed bioinfiltration basin.
13. The plans show the existing septic tanks in the floodplain approximately 30 feet east of the SE corner of the house. The drain field is located up the slope behind the house (on old RR bed?) well above the floodplain. The applicant needs to obtain a Certificate of Compliance for the existing septic system from Washington County or a copy of a septic system permit.
14. The existing home is not currently connected to the Lakeland Water System but there is water service to the property. The existing well and water service locations should be added to the plans. If the plan is to connect to the Lakeland water system, the proposed service line to the home should also be added to the plan.
15. The Site Plan indicates that that the bottom of the "Floor System" elevation is 693.1 which complies with the City Code requirement of 1-foot above the regional flood elevation 692 (154.06). However, the MSCWMO standard is 2-feet above the regulatory flood elevation and the applicant may receive a comment to that affect from the WMO review.

#### **COMMENTS/RECOMMENDATIONS**

The following comments and recommendations are provided as potential conditions of approval:

16. A variance is required to the minimum lot size above the ordinary high water mark of 1.0 acre. (155.016 (A) 1)

17. The applicant, the applicant's Architect and Contractor should review and become familiar with floodproofing requirements listed in the City's Floodplain Regulations and FEMA guidance documents such as Technical Bulletin 1.
18. The bluffline(s) should be added to the plans as well as the bluffline setback(s). The bluffline location(s) should also be certified by a Registered Land Surveyor. (155.004 (B))
19. Submit a copy of the septic system permit or a Certificate of Compliance for the existing septic system from Washington County. (155.042)
20. Add the existing well and water service locations to the plans.
21. If required by the WMO, adjust the minimum floor system elevation to be 2.0' above regulatory flood elevation ( $692.0 + 2.0 = 694.0$ ).
22. If the project is approved, temporary erosion control facilities shall be inspected at the end of each work day, maintained in good working condition.
23. All comments issued by the MSCWMO and the DNR should be make conditions of approval.

It is recommended that the above comments be made conditions of approval if the requested variances are to be approved.

City of Lakeland  
Washington County, Minnesota

APPLICATION FORM

- |  |  |
|--|--|
| <input type="checkbox"/> Certificate of Compliance         | <input type="checkbox"/> Special Use Permit        |
| <input checked="" type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Subdivision               |
| <input type="checkbox"/> Comprehensive Plan Amendment      | <input type="checkbox"/> Text Amendment            |
| <input type="checkbox"/> Grading and Filling Permit        | <input type="checkbox"/> Street Vacation           |
| <input type="checkbox"/> Interim Use Permit                | <input checked="" type="checkbox"/> Variance       |
| <input type="checkbox"/> Preliminary/Final Plat            | <input type="checkbox"/> Zoning District Amendment |
| <input type="checkbox"/> Planned Unit Development          |  |
| <input type="checkbox"/> Other _____                       |  |

Applicant BRUCE LENZEN (Agent)  
(Name)

106 Broadway ST #202 Hudson WI 54016 651-329-4060  
(Address) (Phone)

Fee Owner of Affected Property Scott Johnson / SANDRA ROE  
(Name)

1067 QUEXOTE AVE N. Lakeland MN 651-329-3589  
(Address) (Phone)

Property Legal Description 600 LT 4 - Section 26, T29N, R20W

TORREN REGISTRATION FILE # CO-92-3790 Lakeland MN

Washington County MN

Description and/or Reason for Request Request CONDITIONAL USE to ERECT

EXISTING STRUCTURE AND ADDITION to Home (#154.48)

Request Variance From minimum Roadway/Front yard

SETBACK OF 40' to 10'. (159:041) Minimum Requirements

An incomplete application will delay the processing of this request and may necessitate a re-scheduling of the review time frame. The application approval time line commences and an application is considered complete when all required information and fees are submitted to the City.

I acknowledge that I have read and understand the following:

1. Before this request can be considered and/or approved, all required information and fees, including any deposits and escrow amounts, must be paid to the City.
2. The fee necessary to make this application is a deposit for administrative expenses.
3. For applications requiring escrow amounts, escrow deposits will provide the City necessary cash to in an amount estimated to be adequate to secure all City out-of-pocket expenses including by not limited to attorneys fees, engineering fees, planning fees, etc. to complete the project. Should service costs approach the escrow total, the applicant will be required to provide additional funds in the amount determined by City staff; and the project will be suspended until additional funds have been submitted. Where additional fees are required to cover costs incurred by the City, the City Clerk has a right to require additional payment from me. Any unused funds shall be returned to the applicant.
4. For applications not requiring escrow amounts but where additional fees are required to cover costs incurred by the City, the City Clerk has a right to require additional payment from me.

Dated this 20<sup>th</sup> of April, 2016

[Signature]  
Applicant

[Signature]  
Applicant

I hereby certify that all data required under the Ordinances of the City of Lakeland and pertaining to this application has been provided by the applicant and that the above application is hereby received and accepted by the City of Lakeland.

Dated this 26<sup>th</sup> of April, 2016

[Signature]  
City Clerk



Applicant,

It is important for you to be aware that costs will be incurred as your application is processed. The application fee submitted is a deposit for administrative expenses. Additional costs will include but are not limited to mailing, copying, publishing, attorney fees, engineering costs, planning fees and any other fees required to complete the process. You will be responsible to pay those expenses.

For applications requiring escrow amounts, escrow deposits will provide the City necessary cash to in an amount estimated to be adequate to secure all City out-of-pocket expenses shown above. Should service costs approach the escrow total, you will be required to provide additional funds in the amount determined by City staff, and the project will be suspended until additional funds have been submitted. Any unused funds shall be returned to the applicant.

For applications not requiring escrow amounts but where additional fees are required to cover costs incurred by the City, you will receive an initial invoice when the expenses incurred reach \$1,000, or when the work is completed – whichever is first. Fees not paid according to terms on the invoices will be certified to your property taxes.

**(Official Publication)**  
**CITY OF LAKELAND**  
**WASHINGTON COUNTY, MINNESOTA**  
**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the City Council for the City of Lakeland, Washington County, Minnesota shall conduct a Public Hearing on May 17, 2016 at 6:00 p.m. at Lakeland City Hall located at 690 Quinnell Avenue North to consider a request regarding an application by Scott Johnson and Sandra Boe for a variance to the front yard setback to the roadway easement to reconstruct and expand the existing home at 1067 Quixote Avenue North. All persons wishing to be heard with reference to this request will be heard at the meeting. The real property affected by said application is legally described as PID 26.029.20.43.0040. Legal description available upon request.

Posted at city offices 4/26/2016, published in the Stillwater Gazette 4/29/2016 and mailed to all property owners within 500 feet of the subject property 4/27/2016.

Sandie Thone  
City Administrator/Clerk

Legal Description:

THE NORTH 80.00 FEET OF THE SOUTH 398.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOTS 4 AND 5, BLOCK 1, RIVER CREST ESTATES, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER, WASHINGTON COUNTY, MINNESOTA, BEING A STRIP OF LAND 80.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOTS 4 AND 5, TO LAKE ST. CROIX. THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY. AND THE NORTH 60.00 FEET OF THE SOUTH 318.00 FEET OF GOVERNMENT LOT 4, SECTION 26, TOWNSHIP 29 NORTH, RANGE 20 WEST, LYING EASTERLY OF THE EASTERLY BOUNDARY LINE OF LOT 4, BLOCK 1, RIVER CREST ESTATES, BEING A STRIP OF LAND 60.00 FEET WIDE, NORTH AND SOUTH, AND EXTENDING EASTERLY FROM THE EASTERLY BOUNDARY LINE OF SAID LOT 4, TO LAKE ST. CROIX THE WEST BOUNDARY OF THIS PARCEL IS ALSO THE CENTERLINE OF THE FORMER CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY. TOGETHER WITH THE RIGHT TO USE THE ROAD RIGHT-OF-WAY ALONG THE EASTERLY SIDE OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY RIGHT-OF-WAY FROM THE NORTH LINE OF THE SOUTH 258.00 FEET OF SAID GOVERNMENT LOT 4 TO THE SOUTH LINE OF SAID GOVERNMENT LOT 4. SECTION 26 TOWNSHIP 029 RANGE 020.



1190 Saint Croix Trail South  
Lakeland, MN 55043  
Phone: (651) 436-4430  
E-mail: [city@ci.lakeland.mn.us](mailto:city@ci.lakeland.mn.us)  
Website: [www.ci.lakeland.mn.us](http://www.ci.lakeland.mn.us)

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April 27, 2016

Dear Property Owner (within 500 feet of requesting property):

The purpose of this letter is to advise you that the Lakeland City Council will hold a Public Hearing on May 17, 2016 at 6:00 p.m. at Lakeland City Hall located at 690 Quinnell Avenue North to consider a request regarding an application by Scott Johnson and Sandra Boe for a variance to the front yard setback to the roadway easement to reconstruct and expand the existing home at 1067 Quixote Avenue North. All persons wishing to be heard with reference to this request will be heard at the meeting. The real property affected by said application is legally described as PID 26.029.20.43.0040. Legal description available upon request.

Sincerely,

A handwritten signature in black ink that reads "Sandie Thone". The signature is written in a cursive, flowing style.

Sandie Thone  
City Administrator/Clerk

PRICE TERRENCE & MOEN ANDREA  
or Current Resident  
961 RIVERCREST RD N  
LAKELAND MN 55043

BOLTIK RONALD J & ERIN D  
or Current Resident  
16616 11TH ST N  
LAKELAND MN 55043

CITY OF LAKELAND  
or Current Resident  
1190 ST CROIX TRL S  
LAKELAND MN 55043

KOSKI MARVIN F & RUBY V  
or Current Resident  
9363 WENTLOCK RD  
ST PAUL MN 55125

ANDERSON WALLACE J & SANDRA  
or Current Resident  
16575 11TH STREET CT N  
LAKELAND MN 55043

TEICH JANE F  
or Current Resident  
1350 EASTER LN  
EAGAN MN 55123-3858

DEPNER STACIE  
or Current Resident  
963 RIVERCREST RD N  
LAKELAND MN 55043

JEBS LLC  
or Current Resident  
84 SAINT CROIX TRL S  
LAKELAND MN 55043

JOHNSON SCOTT A & SANDRA BOE  
or Current Resident  
1067 QUIXOTE AVE N  
LAKELAND MN 55043

SCHNEIDER JEREDINE J  
or Current Resident  
16585 11TH ST CT N  
LAKELAND MN 55043

OUBAHA LAHCEN & ANN E  
or Current Resident  
16605 11TH STREET CT N  
LAKELAND MN 55043

STATZ MARK R & ANGELA L NEIDERMIRE  
or Current Resident  
16610 11TH ST N  
LAKELAND MN 55043

STATE OF MN-DOT  
or Current Resident  
1500 COUNTY ROAD B2 W  
ROSEVILLE MN 55113

LENZEN BRUCE & CORINNE ANDERSON  
or Current Resident  
1035 QUIXOTE AVE N  
LAKELAND MN 55043

SPACE D JAMES  
or Current Resident  
1785 WAVECREST CT  
MARCO ISLAND FL 34145-3839

YUREK LEO  
or Current Resident  
4723 RIVER RD S  
AFTON MN 55001

SHANNON ROBERT P ETAL  
or Current Resident  
2395 COUNTY RD B W  
ROSEVILLE MN 55113

LIND DONALD L & JULELE A  
or Current Resident  
16595 11TH STREET CT N  
LAKELAND MN 55043

BRENNAN JOSEPH T & HELEN A  
or Current Resident  
1081 QUIXOTE AVE N  
LAKELAND MN 55043

ECKSTROM JUANITA & WILLIAM C JR & SANDRA K TAIT  
or Current Resident  
16561 11TH STREET CT N  
LAKELAND MN 55043

Bruce Lenzen Design  
106 Buckeye St # 202  
Hudson WI 54016

Lakeland City Council  
MSCWMO

4-21-16

RE: Application for Variance and CUP  
Applicants: Scott Johnson and Sandra Boe  
Site Address: 1067 Quixote Ave N, Lakeland MN

The scope of the project is as follows:

The home as it exists was built 40+ years ago. It is a two level structure with the lower level being used as a garage. The home is located in a flood fringe district. The home currently encroaches approximately 10' into the 100' Riverway setback. The sideyard setbacks are compliant. The setback of 40' from the existing roadway easement is not met as the existing structure is now located in that setback. The main level of the home is .04 tenths below required flood proof elevation.

The proposed home would be reconstructed and expanded using as much of the existing Lower level walls and foundation. The main level of the home would be constructed at elevation 693.1 as required. The plan proposed to remove the area of the home that encroaches in the 100' setback, making it compliant with the river-way setback requirement. The new home height will not exceed the limit of 35'in height, and will be earth tone in color.

Regards

Bruce Lenzen

WI License #1170890  
MN License #BC639077

651 • 329 • 4060

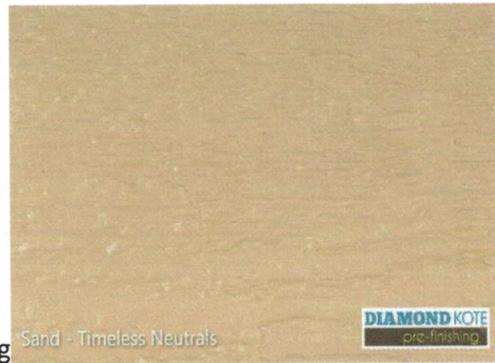
[brucelenzendesignbuild.com](http://brucelenzendesignbuild.com)



# Johnson/ Boe Exterior Products



Board and Batten



Lap Siding



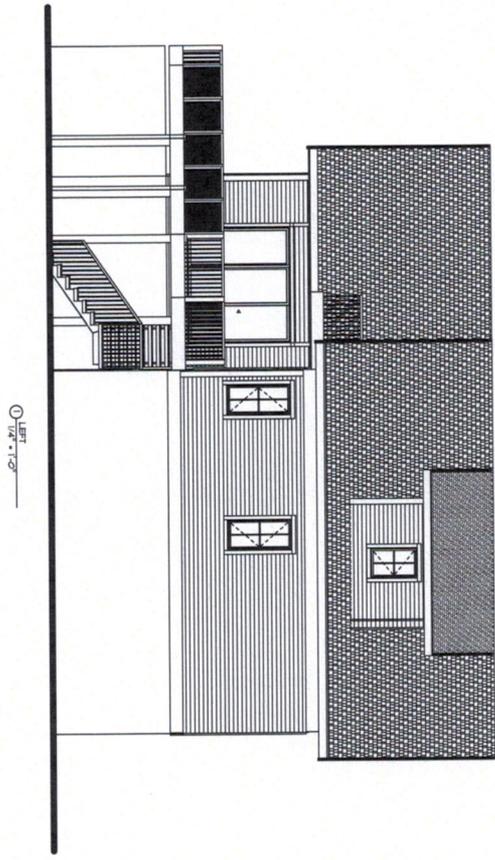
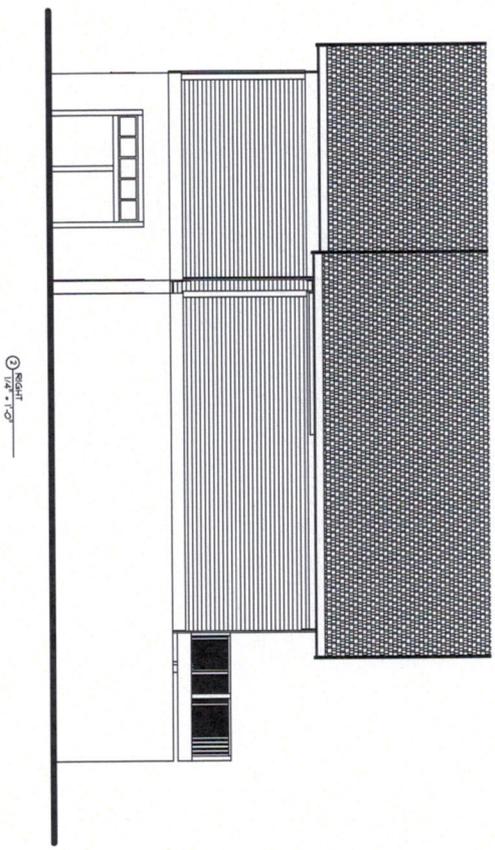
Trims



Shingle Color

Window color Taupe





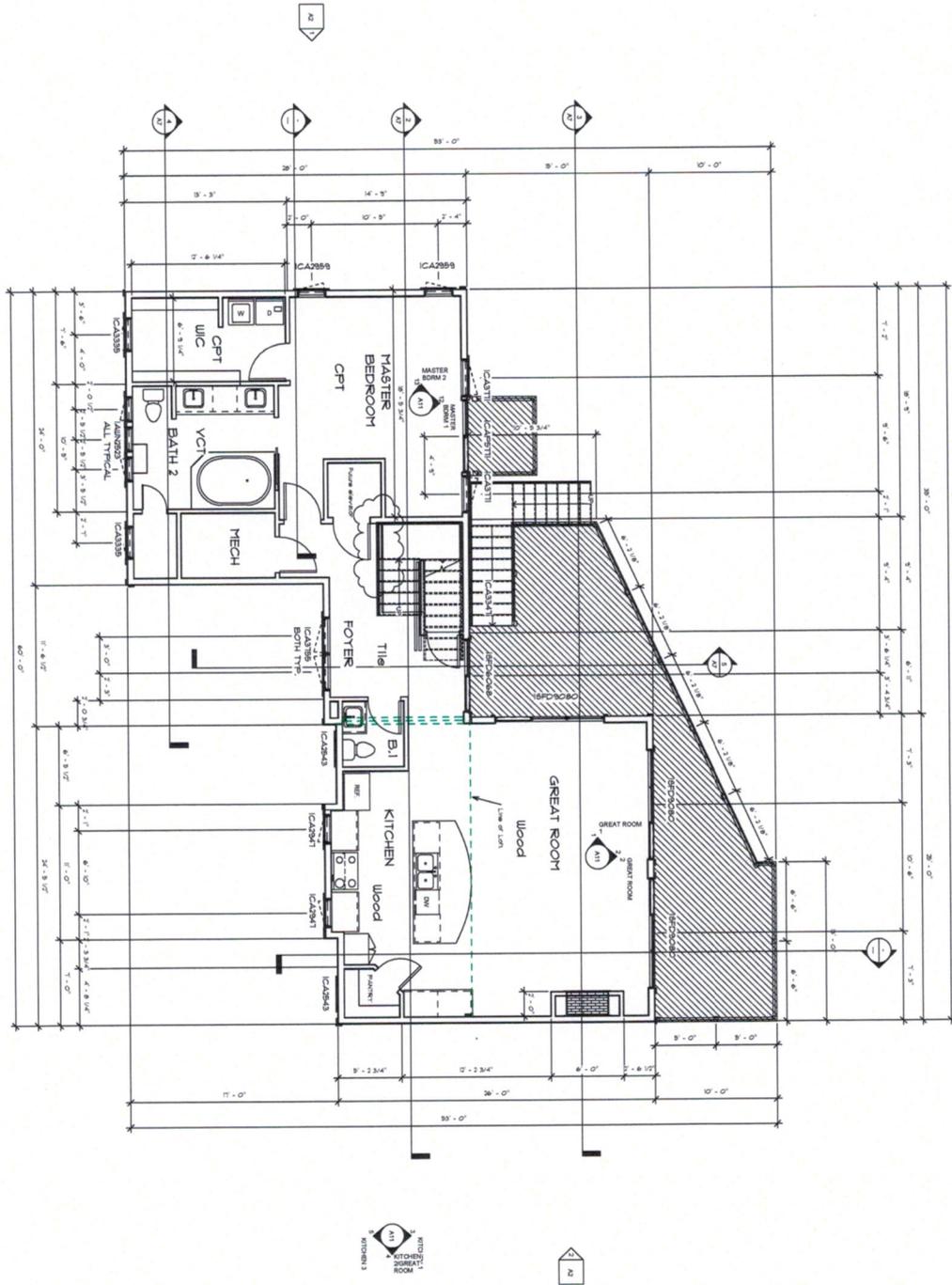
A2	EXTERIOR ELEVATIONS	CONCEPT	JOHNSON
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BRUCE LENZEN DESIGN BUILD, LLC.  
 106 BUCKEYE ST. # 202  
 HUDSON WI 54016  
 651 329 4060





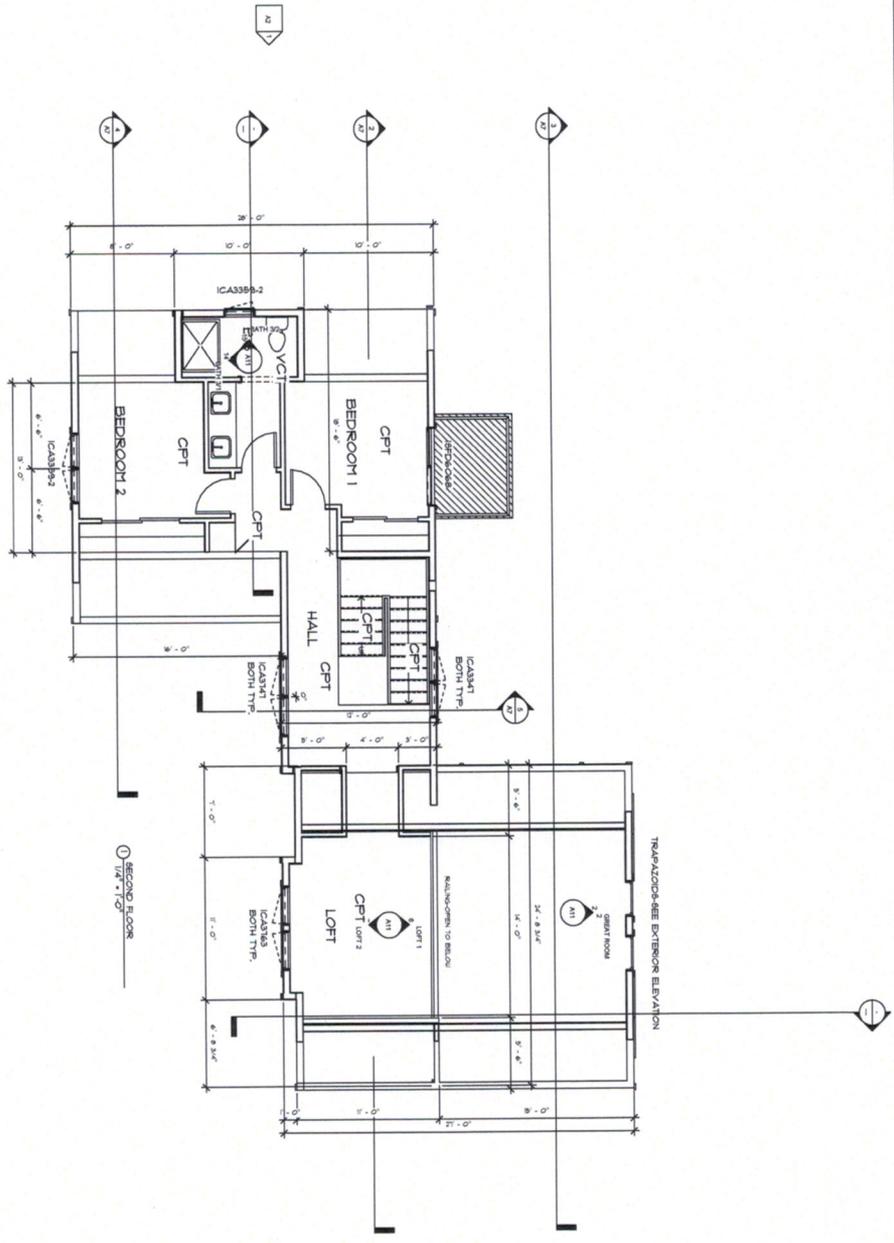
MAIN LEVEL 60/FT 1489



NO.	DATE	DESCRIPTION
AS	3-2-16	FIRST FLOOR
JOHNSON		
CONCEPT		

BRUCE LENZEN DESIGN BUILD, LLC.  
 106 BUCKEYE ST. # 202  
 HUDSON WI 54016  
 651 329 4060





2ND FLOOR 824 SQ/FT

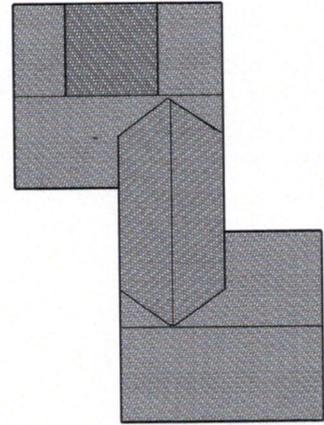
① SECOND FLOOR  
1/4" = 1'-0"

TRAP-LOCATED EXTERIOR ELEVATION

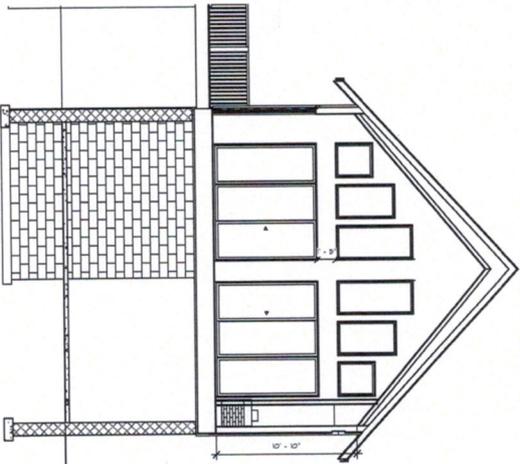
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BRUCE LENZEN DESIGN BUILD, LLC.  
 106 BUCKEYE ST. # 202  
 HUDSON WI 54016  
 651 329 4060

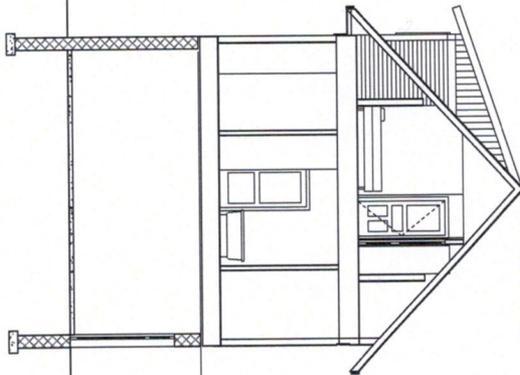




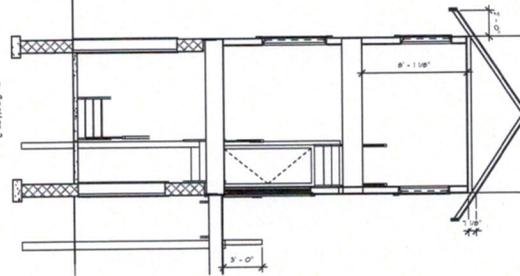
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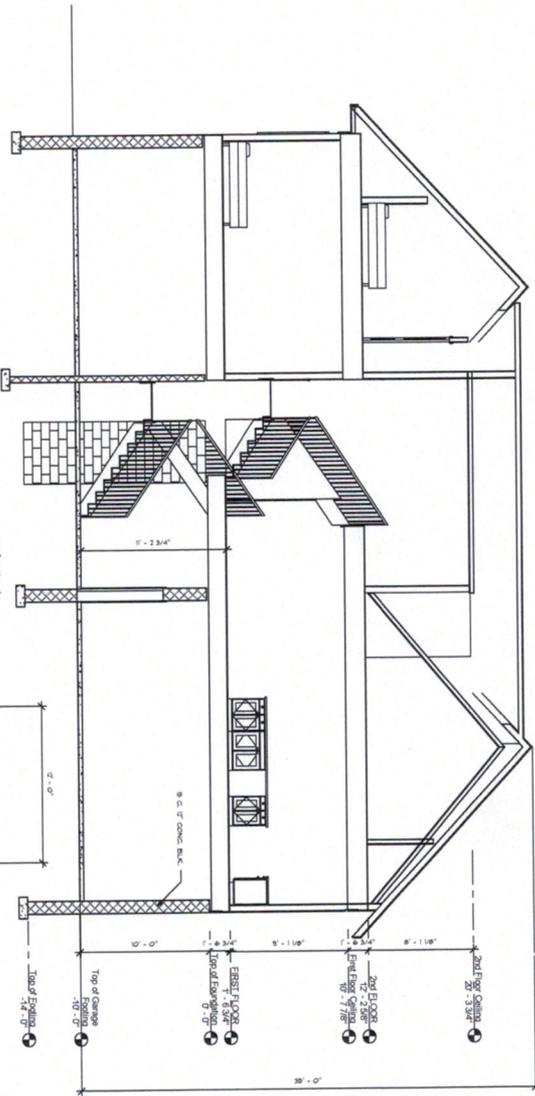
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1/8" = 1'-0"



4 Section 4  
1/8" = 1'-0"



2 Section 2  
1/8" = 1'-0"



1 Section 1  
1/8" = 1'-0"

JOHNSON
CONCEPT
ROOF/SECTIONS
DATE 3-3-16
A1

BRUCE LENZEN DESIGN BUILD, LLC.  
 106 BUCKEYE ST. # 202  
 HUDSON WI 54016  
 651 329 4060

